

AGENDA
BOARD OF TRUSTEES
DATE: April 16, 2024
Regular Meeting 6:00pm
Town Hall – 1010 High Street
Collbran, Colorado

The Public Is Encouraged To Attend

Zoom link available by contacting Town Hall prior to meeting.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Persons not on the agenda
 - A. Please limit comments to three (3) minutes, and address your comments directly to the Mayor.
 - B. Identify yourself by name and address when making comments.
 - C. Comments should be courteous, civil and constructive.
 - D. Town Board will make no decision nor take action, except to direct the Town Manager.
5. Public Hearing – Special Use Application for the Town of Collbran Communications Tower & Support Facilities
6. River City Consultants Conceptual Presentation - Terrell Park Subdivision
7. Authorization for the Town Manager to solicit comparative pricing for the 2024 Alley Sanitary Sewer replacement based upon the design provided by KLJ Engineering and an Engineer's Estimate of Probable Cost of approximately \$22,000 and waiving the competitive bid requirements of the Town's procurement policy in order to expedite the repairs. Recommended source of funding is 2024 sewer fund capital budget of \$50,000, \$30,000 available for 2024 sludge drying/removal that can be postponed to 2025.
8. Trustee Informational and/or items for future agenda
9. Upcoming meetings
 - a. April 23, 2024 joint meeting with Plateau Valley School Board 6:00 pm @PV school
 - b. May 7, 2024 – regular board meeting, 6:00 pm
10. Adjournment

Worksession following – May be canceled at the Mayor's discretion

NOTICE TO READERS: Town Council meeting packets are prepared several days prior to the meetings. Timely action and short discussion on agenda items does not reflect lack of thought or analysis on the Trustee's part as issues have been discussed by Trustees in workshop or committee meetings which are open to the public. **The Board of Trustees may take action on any of the following agenda items as presented or modified prior to or during the meeting, and items necessary or convenient to effectuate the agenda items. PUBLIC INVITED TO ATTEND:** The Public will be limited to three minutes each unless prior arrangements have been made with the Town Clerk or Administrator. Town Trustees

may not respond to your comments on this evening, rather, they may take your comments and suggestions under advisement and your questions will be directed to the appropriate person or department for follow-up.

Staff Report
Town of Collbran Communications Tower & Support Facilities
Special Use Application
Town of Collbran
Board of Trustees Public Hearing
Tuesday, April 16, 2024

Report Date: 3/27/2024.

Name of applicant.	Town of Collbran
Applicant Representative	Melonie Matarozzo
Address.	1010 High St, Collbran, CO 81624
Phone Number.	970-487-3751 Telephone
Property Owner.	Town of Collbran
Address.	1010 High St, PO Box 387, Collbran, CO 81624
Phone.	970-487-3751 Telephone
Location of property.	5800 Peninsula Rd., Collbran, Colorado
Zoning.	P-Public
Surrounding Zoning.	North - Residential-1, East – Residential-1 & AFT - Unincorporated Mesa County, South – AFT - Unincorporated Mesa County, West – Residential-1
Surrounding Land Uses.	North – Residential, East – Residential, South - Road & Residential, West - Residential.
Existing Use of Property.	Park, Communications Facilities, Storage & Water Tank Site.
Proposed Use of Property.	Continuation of existing uses and addition of freestanding 40-foot communications tower, remodel of existing utility building, and installation of a backup generator. Existing guy-wire supported lattice tower to be removed.
Existing Floor Square Footage.	90 Sq. Ft..
Required Off-street Parking.	One and one-tenth (1 1/10) spaces. Industrial Facilities. One (1) space for every one thousand square feet (1,000 sq. ft.) of floor area or one and one-tenth (1 1/10) spaces per employee whichever results in more parking spaces.

Parking Proposed.	Existing area that has adequate room for at least one 9'x22' parking space.
Minimum Required Lot Size.	None
Lot Size.	6.61 Acres
Maximum Building Height	35 feet
Required Setbacks.	Side Yard - 10 ft., Front - 20 ft., Rear - 20 ft.
Proposed Setbacks.	Front Yard – 524', Side Yard – 83' & 430', Rear Yard – 40'

I. Vicinity Map



II. Description of the request

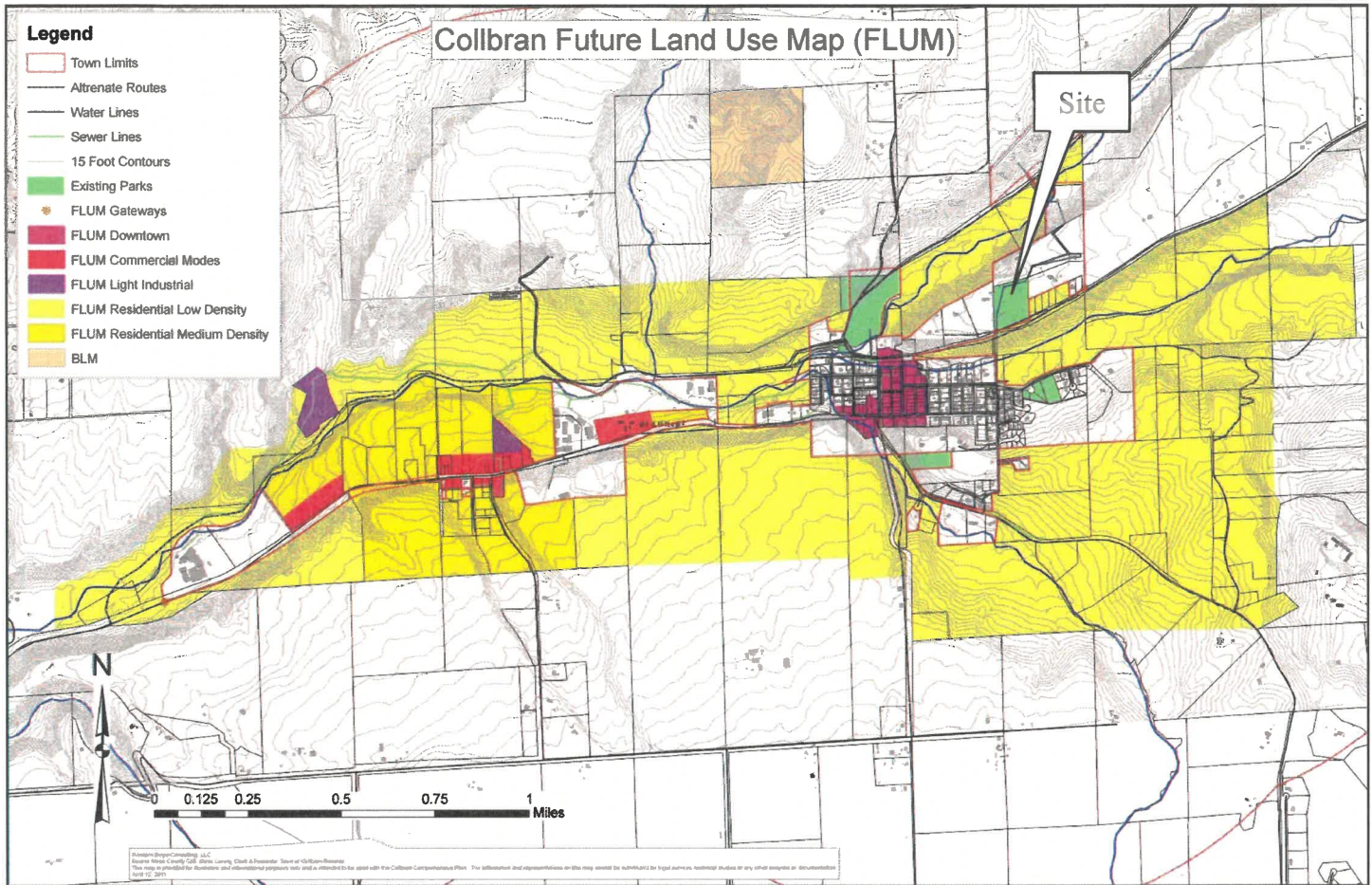
The applicant is requesting a Special Use to construct a new free-standing 40-foot steel communications tower that will replace an existing on-site 35-40 feet high guy-wire supported steel tower. The present tower and guy-wires will be removed. Equipment on the existing tower will be relocated to the new tower. The current building will be remodeled as a support facility

and will include installation of a back-up generator. No additional parking will be required because the tower and building are unmanned facilities. Periodically, employees will visit the site to perform routine maintenance and repairs. There is adequate parking available on the property adjacent to the tower and building available for communications facility maintenance personnel. Outdoor lighting for the building and the site will be directed to the point of use and will be kept to a minimum. Outdoor lighting will be downcast and will utilize motion sensor activation and not use “dusk to dawn sensors” so the facility will not be illuminated when personnel are not present. The FAA does not require tower lighting. The new tower is self-supporting and no support cables are necessary. There is an existing chain-link fence surrounding the building and tower location. At a future date, Collbran plans to expand the fence to surround the larger site, including the water tank to secure the location. An all-weather surface exists around the tower location and structure to minimize maintenance. The current gravel road serves as access to the facility. Existing power serves the site. No water or sewer service is required.

III. Definition of Special Use.

Section 15.02.020 Special Use. - Uses designated as Special Uses are contingent uses, which may or may not be appropriate in a particular location depending on the nature of the proposed use, its relationship to surrounding land uses and its impact on traffic capacities, potential environmental effects, and compatibility with the neighborhood. It is the intent of these Regulations to provide a review of Special Uses so that the community is assured that any proposed Special Uses are suitable for the proposed location and are compatible with the surrounding land uses. The Board of Trustees must consider a Special Use at a public hearing.

IV. Relationship to the Comprehensive Plan.



The subject property is shown on the Collbran Future Land-Use Map as “Existing Parks” and it is located within town limits and no change is proposed to the existing Public Zoning.

The following information comes from the Collbran comprehensive plan and includes only those sections relevant to this application.

Land Use

Vision

The small compact community of Collbran desires to grow from the core outward in logical steps. Support for a compatible mix of land-use types helps build a vital community with a diversity of housing and sense of place for existing and new residents. Well-planned parks, open spaces and trails maintain quality of life and retain the community’s rural character. Carefully considered annexations in conformance with the Comprehensive Plan support managed cost-effective future growth.

Goal LU-7: New development should pay for all of its impact costs and not place a fiscal burden on the existing residents.

Policy LU-7B: New development should pay for all impact costs generated by the project including both on-site and off-site improvements.

Policy LU-7C: New development shall not decrease quantified existing levels of service and as necessary shall financially offset additional service costs generated by the development.

Policy LU-7D: Development will be required pay all costs necessary to extend and properly size utilities, roads and other infrastructure necessary to serve the project and extend infrastructure to property boundaries for future connections.

Environment/Aesthetics

Vision

Protection of air, water, environmental quality and the scenic vistas in Collbran is an important objective for the Town and area residents. Ongoing efforts to maintain and improve these qualities include riparian corridor preservation, watershed protection, conservation of wildlife habitat and education about the benefits of all of these community assets.

Goal EA-4: Protect important ridgelines and viewsheds.

Policy EA-4A: Identify key ridgelines and viewsheds for protection.

Policy EA-4B: Require setbacks from key ridgelines and in viewsheds to prevent visual impacts at those locations.

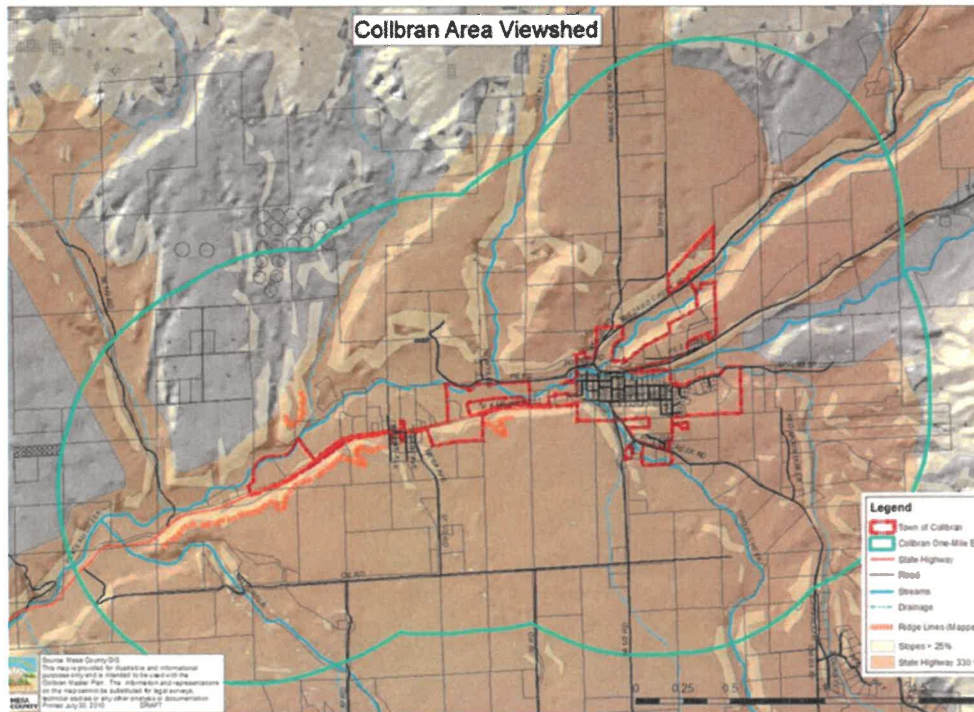
Policy EA-4C: Collbran will utilize standards for analysis and protection of ridgeline & viewsheds as part of the land-use review process.

Policy EA-4D: Collbran may work with Mesa County on ridgeline and viewshed protection analysis and utilize available County mapping of sensitive ridgelines and/or view sheds.

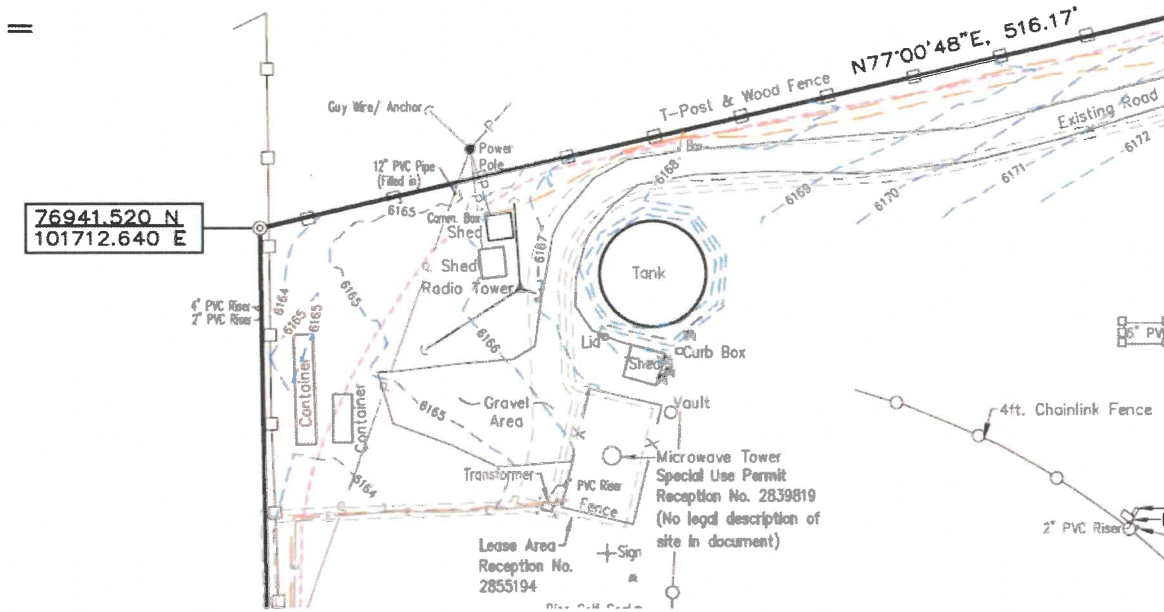
Site Images



View North



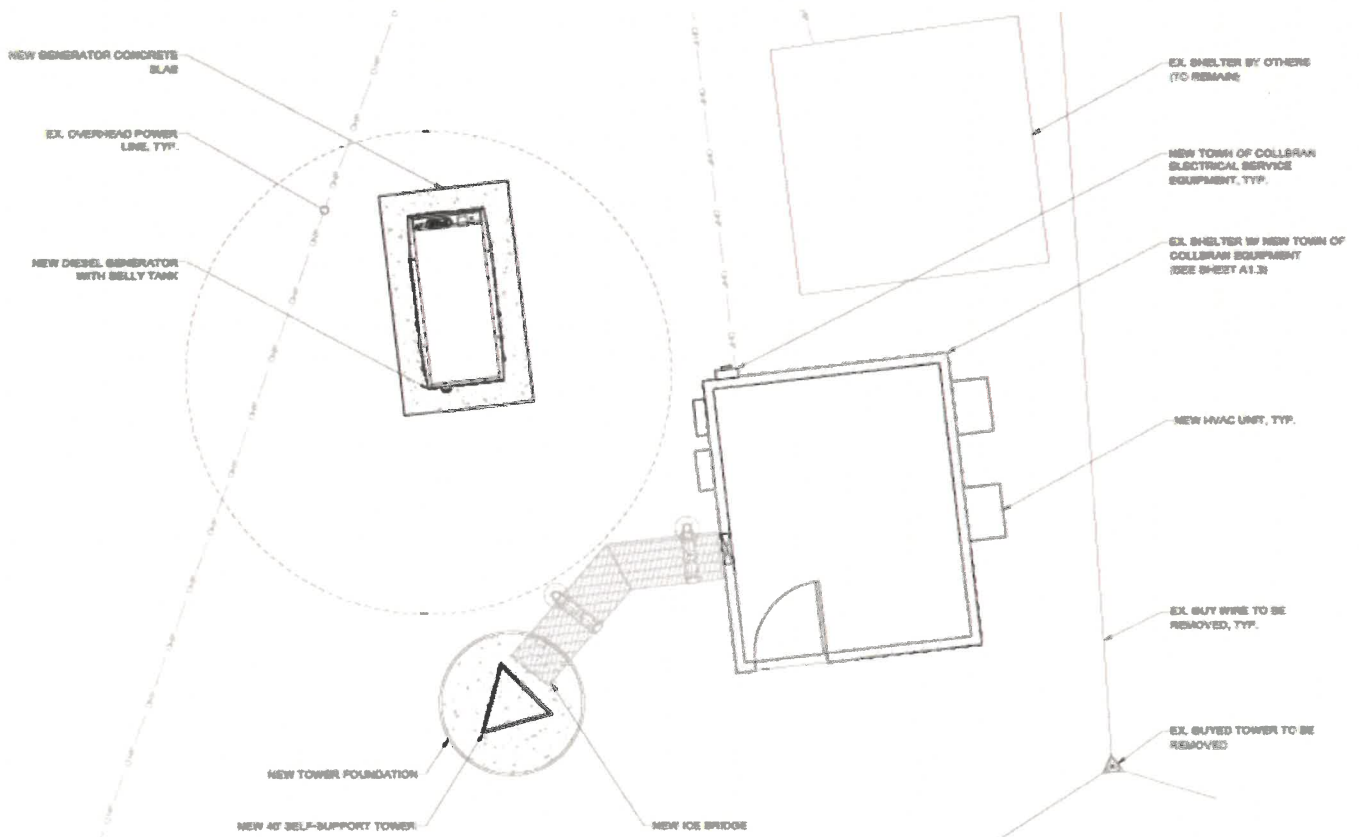
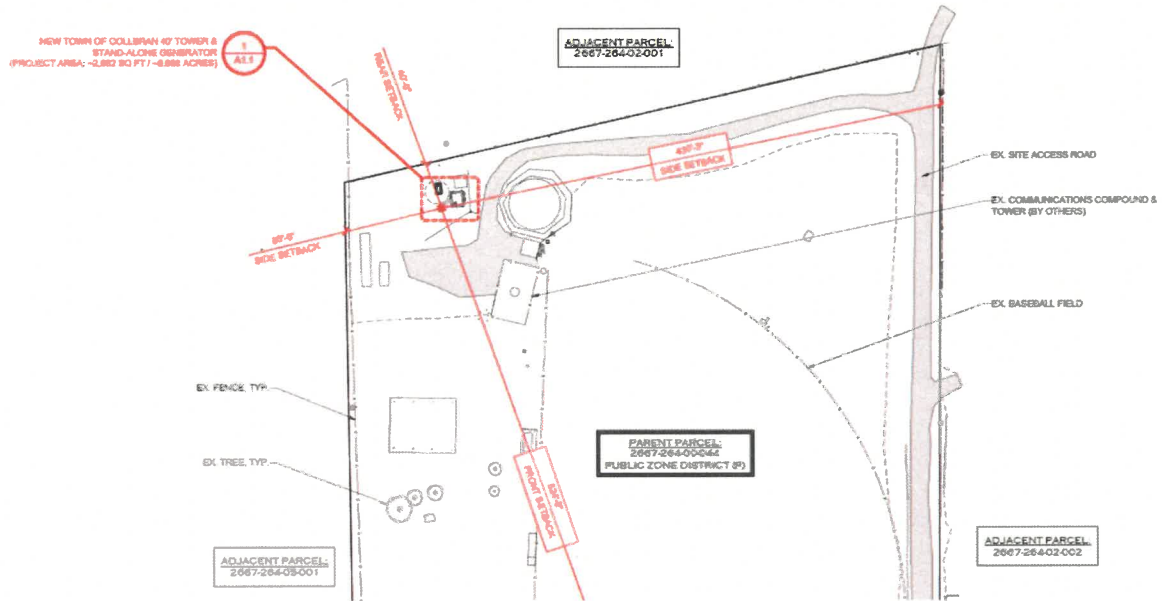
Tower Area Site Plan



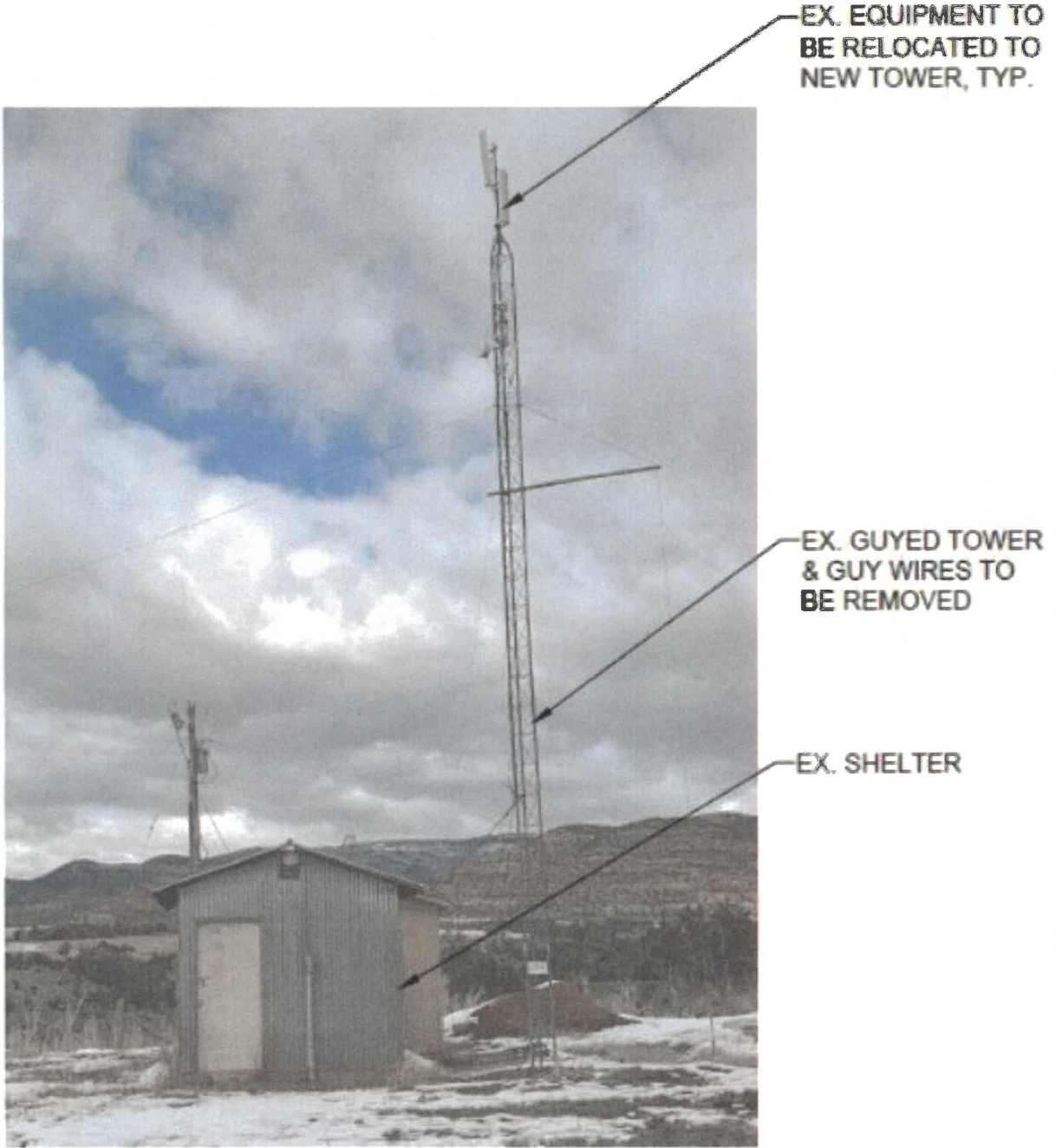
View of Location



Setbacks & Site Plan – (Note: A Detailed Site Plan is Included Under Separate Cover)



Existing Facilities On Site



'A'
EX. SHELTER & TOWER PHOTO

IV. Review Comments:

Special Use Application

Ingress and egress to the property.

Staff Comment - Access is off County Road 330 into Gandi Park on an existing roadway and is adequate for the proposed use. It is anticipated that the site will be visited periodically by a maintenance person. Very few vehicle trips will be generated by the proposed use.

Off-street parking and loading areas.

Staff Comment - Minimal parking is required for the proposed infrequent service/maintenance use. The municipal regulations require 1.1 parking spaces. The existing parking on site is more than adequate to accommodate current and future parking needs for the facility.

Refuse and service areas.

Staff Comment - The proposed facility will not require a refuse area. The applicant will have adequate refuse facilities for waste that might be generated during servicing/maintenance of the tower. The existing service building is self-contained and does not require any separate service area.

Utilities.

Staff Comment - Existing on-site utilities are adequate to serve the proposed communications tower. No additional utility services are proposed.

Screening and buffering.

Staff Comment - Screening of the tower is difficult, but the new self-supported tower will replace a current similar sized guy-wire supported structure. Removing the guy-wires will reduce the visual impacts to the view-shed. Use of a non-specular (reflective) surface on the new tower and attached equipment/antennas will minimize or eliminate reflection by sunlight or other light sources off the tower.

Signs and Lighting.

Staff Comment - The proposed tower will not be lit. Illumination is not required by the FAA. It is recommended that exterior lighting utilize motion sensor activation, is down-cast and directed to the point of use so that lighting serves the needs of the maintenance staff when they are there and will not remain on continuously during nighttime hours.

Required yards and other open spaces.

Staff Comment - The setbacks conform to the Public Zone District requirements.

General compatibility with adjacent property and other property in the district.

Staff Comment - The uses surrounding the subject property include the following:

- North - Residential.
- East - Residential.
- South - County Rd 330 & Residential.
- West - Residential.

The use will have a visual impact but replaces an existing guy-wire supported tower of similar size. Nearby the proposed new 40-foot tower is an existing 120-foot tower with a 10-foot lightning rod used by T-Mobile. Placement of the new tower on the northerly portion of the field will minimize visual impacts. It is recommended that all surfaces of the tower be non-reflective

including all antenna apparatus. As noted previously, the tower will not be lit so it will not be visible after dark.

Drainage.

Staff Comment - No significant change to the drainage in the area will be created by the proposed use.

VI. Property Owners Within 200 feet of Subject Property (Obtained from Mesa County Assessor 3/27/24)

Randel E. and Sharon E. White Living Trust
5874 PE 3/10 Road
Collbran, CO 81624

Glen M and Charlotte L Denton
58850 PE 3/10 Road
Collbran, CO 81624

Lori A Bruton
588838 PE 3/10 Road
Collbran, CO 81624

Michael Schenkelberg and Julie Mathias
2111 Rodeo Road
Collbran, CO 81624

Randall and Deborah Pettes
58840 PE 3/10 Road
Collbran, CO 81624

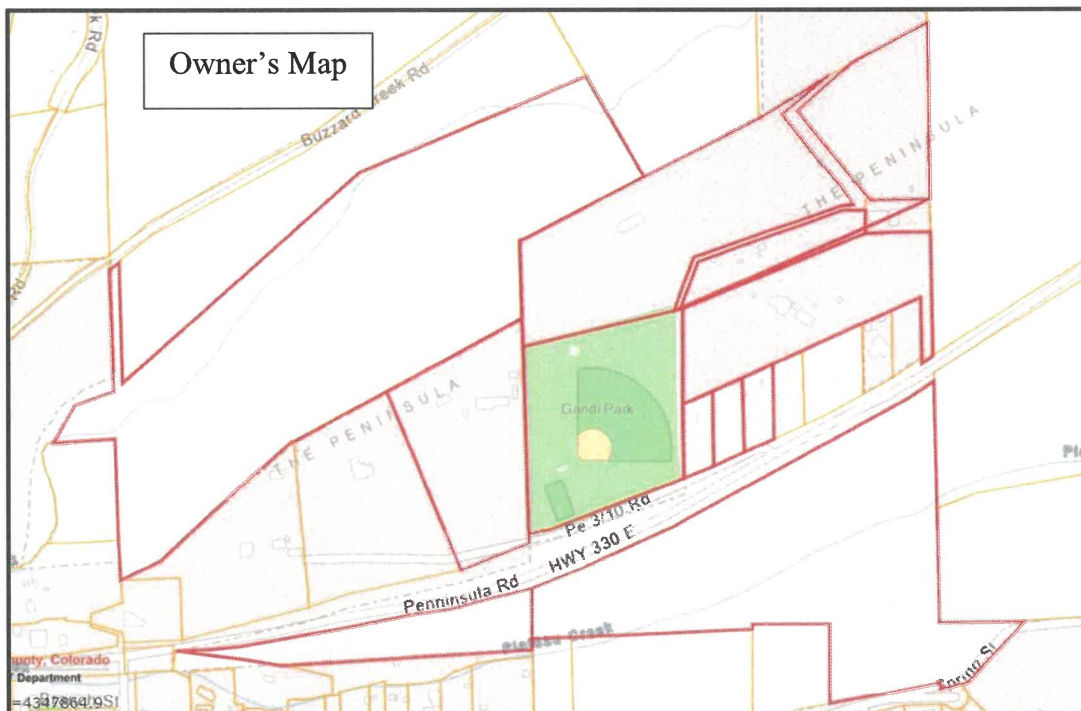
Thomas A and Julia A Cox
59050 Spring Street
Collbran, CO 81624

Kent and Tammy Hill
58589 Highway 330 E.
Collbran, CO 81624-9613

Mesa County Administration
PO Box 20000
Grand Junction, CO 81502-5001

John D and James W et al. Shiflett
PO Box 162
Rifle, CO 81650

Optimus Communications (leaseholder)
288 28 Road
Grand Junction, CO 81503



VII. Review Agency Comments.

Public Works. - No comments received.

Police Department. - No comments received.

VIII. Staff Recommendations.

Staff recommends **APPROVAL** of the Town of Collbran Communications Tower Special Use application with the following conditions:

1. The tower and attached antennas shall have a non-specular dulled dark finish that will minimize or eliminate reflection. The color and type of matte/dulled surface shall be subject to approval of town staff prior to tower construction.
2. Exterior lighting shall utilize motion activated lighting, be down-cast and directed to the point of use to minimize lighting impacts while still allowing adequate lighting for security and support staff. Building and lighting plans shall be submitted to town staff for review and approval prior to construction.
3. The tower shall not be illuminated.
4. All representations made by the applicant in the application submittal and verbally before the Board of Trustees and identified in the meeting minutes are considered part of the application and binding on the applicant.



Town of Collbran

1010 High Street
PO Box 387
Collbran, CO 81624

Phone: 970-487-3751
Fax: 970-487-3380

NOTICE OF PUBLIC HEARING

TAKE NOTICE that, pursuant to Chapter 15 of the Town of Collbran Municipal Code, the Town of Collbran Board of Trustees (the “Board”) will hold a **Public Hearing** to consider **Special Use Permit Application** submitted by the **Town of Collbran** for a **40-foot communications tower** to be located at Gandi Park, 5800 Peninsula Road, Collbran, Colorado. This request is submitted pursuant to Chapter 15 of the Collbran Municipal Code as a Special Use in the Public Zone District.

ALL PERSONS AFFECTED by the proposed application are invited to appear and state their views, protests or support about the application verbally, in writing or both. If you cannot appear personally at such hearing, then you are urged to state your views by letter to the Board of Trustees for consideration in their decision to approve, conditionally approve or deny the request. The application may be reviewed at the Collbran Town Hall located at 1010 High Street, Collbran, Colorado during regular business hours, Monday through Friday, 9:00 a.m. to 5:00 p.m.

A PUBLIC HEARING on this application has been scheduled for the 16th day of April 2024 at 6:00 p.m., in the Collbran Town Hall, 1010 High Street, Collbran, Colorado.

Melonie Matarozzo, Town Clerk

AFFIDAVIT OF PUBLICATION

State of Pennsylvania, County of Lancaster, ss:

Yuade Moore, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agents of Grand Junction Daily Sentinel, a newspaper printed and published 5 days a week in the City of Grand Junction, County of Mesa, State of Colorado, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

PUBLICATION DATES:

Mar. 30, 2024

NOTICE ID: 9rblQFHQBxOfTJnJRSG

PUBLISHER ID: 188171

NOTICE NAME: Special Use - Gandi Tower rev

(Signed) Yuade Moore

VERIFICATION

State of Pennsylvania
County of Lancaster

Commonwealth of Pennsylvania - Notary Seal
Nicole Burkholder, Notary Public
Lancaster County
My commission expires March 30, 2027
Commission Number 1342120

Subscribed in my presence and sworn to before me on this: 04/01/2024

Nicole Burkholder

Notary Public
Notarized remotely online using communication technology via Proof.

NOTICE OF PUBLIC HEARING

TAKE NOTICE that, pursuant to Section 15.05 of the Town of Colibrán Municipal Code, the Town of Colibrán Board of Trustees (the "Board") will hold a public hearing to consider a special use permit application submitted by the Town of Colibrán for a 40-foot wireless tower to be located at Gandi Park, 5800 Peninsula Road, Colibrán, CO 81624. This request is submitted pursuant to Section 15.03.080 of the Municipal Code as a Special Use in the Public Zone District.

ALL PERSONS AFFECTED by the proposed application are invited to appear and state their views, protests or support about the application verbally, in writing or both. If you cannot appear personally at such hearing, then you are urged to state your views by letter to the Board of Trustees for consideration in their decision to approve, conditionally approve or deny the request. The application may be reviewed at the Colibrán Town Hall located at 1010 High Street, Colibrán, Colorado during regular business hours, Monday through Friday, 9:00 a.m. to 5:00 p.m.

A PUBLIC HEARING on this application has been scheduled for the 16th day of April, 2024 at 6:00 p.m., in the Colibrán Town Hall, 1010 High Street, Colibrán, Colorado.

Melonie Matarozzo, Town Clerk

Published: March 30, 2024.

including all antenna apparatus. As noted previously, the tower will not be lit so it will not be visible after dark.

Drainage.

Staff Comment - No significant change to the drainage in the area will be created by the proposed use.

VI. Property Owners Within 200 feet of Subject Property (Obtained from Mesa County Assessor 3/27/24)

✓ Randel E. and Sharon E. White Living Trust
5874 PE 3/10 Road
Collbran, CO 81624

✓ Glen M and Charlotte L Denton
58850 PE 3/10 Road
Collbran, CO 81624

✓ Lori A Bruton
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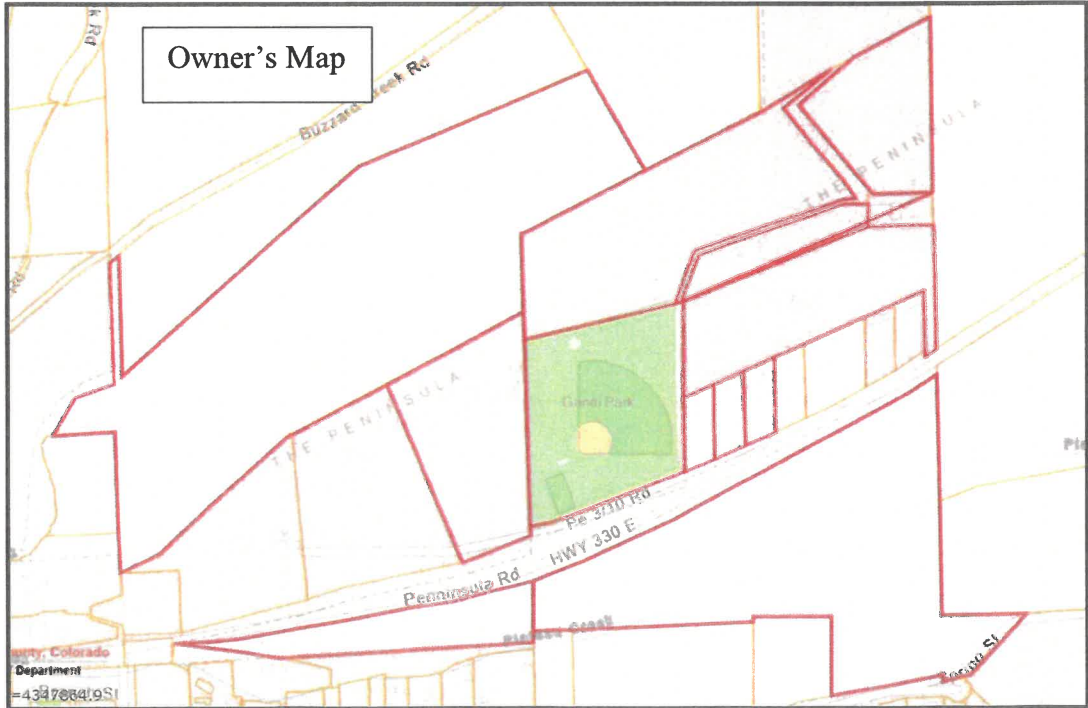
✓ Kent and Tammy Hill
58589 Highway 330 E.
Collbran, CO 81624-9613

✓ Mesa County Administration
PO Box 20000
Grand Junction, CO 81502-5001

John D and James W et al. Shiflett
PO Box 162
Rifle, CO 81650

✓ Optimus Communications (leaseholder)
288 28 Road
Grand Junction, CO 81503

sent - not returned



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
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1. Article Addressed to:

RANDEL E WHITE AND SHARON E
WHITE LIVING TRUST
58746 PE 3/10 RD
COLLBRAN, CO 81624



9590 9402 8642 3244 1162 27

2. Article Number (Transfer from service label)

7022 1670 0001 9697 4551

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X Sharon White Agent
 Addressee

B. Received by (Printed Name)

SHARON WHITE 5/30/14

C. Date of Delivery

D. Is delivery address different from item 1? Yes
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3. Service Type

- Adult Signature
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- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
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Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

Return Receipt (hardcopy) \$ 3.65

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$.68

Total Postage and Fees \$ 8.73

Sent To OPTIMUS COMMUNICATIONS
288 28 ROAD
GRAND JUNCTION, CO 81503

Postmark Here MAR 28 2014

**U.S. Postal Service™
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Domestic Mail Only

For delivery information, visit our website at: www.usps.com

OFFICIAL USE

Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

Return Receipt (hardcopy) \$ 3.65

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$ 8.73

Total Postage and Fees \$

Sent To RANDEL E WHITE AND SHARON E
WHITE LIVING TRUST
58746 PE 3/10 RD
COLLBRAN, CO 81624

Postmark Here MAR 28 2014

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1. Article Addressed to:

OPTIMUS COMMUNICATIONS
288 28 ROAD
GRAND JUNCTION, CO 81503



9590 9402 8642 3244 1161 59

2. Article Number (Transfer from service label)

7022 1670 0001 9697 4520

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X Mark McGowan Agent
 Addressee

B. Received by (Printed Name)

Mark McGowan

C. Date of Delivery

3-29-14

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

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- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

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1. Article Addressed to:

Mesa County Administration
P.O. BOX 20000
GRAND JUNCTION, CO 81502-5001

2. Article Number (Transfer from service label)
7022 1670 0001 9697 4537

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (Printed Name) Diana

C. Date of Delivery 3-29

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fee as appropriate) 3.65

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage \$ 8.73

Total Postage and Postage and Fees \$

Sent To PETTES RANDALL L PETTES
DEBORAH L
PO BOX 157
COLLBRAN, CO 81624-0157

Street and Apt. No., City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Postmark Here
MAR 28 2024
COLLBRAN CO 81624

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

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OFFICIAL USE

Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fee as appropriate) 3.65

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage \$ 8.73

Total Postage and Postage and Fees \$

Sent To Mesa County Administration
P.O. BOX 20000
GRAND JUNCTION, CO 81502-5001

Street and Apt. No., City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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MAR 26 2024
GRAND JUNCTION CO 81524

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1. Article Addressed to:

PETTES RANDALL L PETTES
DEBORAH L
PO BOX 157
COLLBRAN, CO 81624-0157

2. Article Number (Transfer from service label)
7022 1670 0001 9697 4568

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (Printed Name) Lisa Pettes

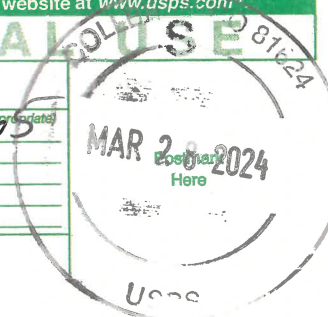
C. Date of Delivery 4-1-24

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No


3. Service Type


- Adult Signature
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- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
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- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> <i>Lori Denton</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery <i>Lori Denton</i> <i>3-29-24</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>																
<p>1. Article Addressed to:</p> <p>BRUTON LORI A 58838 PE 3/10 ROAD COLLBRAN, CO 81624</p>																	
 9590 9402 8642 3244 1162 03																	
<p>2. Article Number (Transfer from service label)</p> <p>022 1670 0001 9697 4575</p>	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>	<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Collect on Delivery Restricted Delivery		<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®																
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™																
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery																
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™																
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery																
<input type="checkbox"/> Collect on Delivery Restricted Delivery																	
<input type="checkbox"/> Insured Mail																	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)																	
<p>PS Form 3811, July 2020 PSN 7530-02-000-9053</p> <p style="text-align: right;">Domestic Return Receipt</p>																	


U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®	
OFFICIAL USE	
Certified Mail Fee \$ 4.40	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$ 3.65	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$ 8.73	
Total Postage and Fees \$	
Sent To HILL KENT A HILL TAMMY L	
Street and Apt. No. 58589 HIGHWAY 330 E	
City, State, ZIP+4® COLLBRAN, CO 81624-9613	
PS Form 3800, April 2015 See Reverse for Instructions	


U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®	
OFFICIAL USE	
Certified Mail Fee \$ 4.40	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$ 3.65	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$ 8.73	
Total Postage and Fees \$	
Sent To BRUTON LORI A	
Street and Apt. No. 58838 PE 3/10 ROAD	
City, State, ZIP+4® COLLBRAN, CO 81624	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> <i>Kendria Strange</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery <i>Kendria Strange</i> <i>3-30-24</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>																
<p>1. Article Addressed to:</p> <p>HILL KENT A HILL TAMMY L 58589 HIGHWAY 330 E COLLBRAN, CO 81624-9613</p>																	
 9590 9402 8642 3244 1161 73	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>	<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Collect on Delivery Restricted Delivery		<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®																
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™																
<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery																
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Signature Confirmation™																
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery																
<input type="checkbox"/> Collect on Delivery Restricted Delivery																	
<input type="checkbox"/> Insured Mail																	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)																	
<p>2. Article Number (Transfer from service label)</p> <p>022 1670 0001 9697 4605</p>																	
<p>PS Form 3811, July 2020 PSN 7530-02-000-9053</p> <p style="text-align: right;">Domestic Return Receipt</p>																	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 		A. Signature <input checked="" type="checkbox"/> <i>Julia Cox</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to:		B. Received by (Printed Name) <i>Julia Cox</i>	C. Date of Delivery <i>3/29/24</i>
COX THOMAS A COX JULIA A P.O. BOX 441 COLLBRAN, CO 81624-0441		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
 9590 9402 8642 3244 1161 66		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
2. Article Number (Transfer from service label) 2 1670 0001 9697 4612		<input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™ <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery	
PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt	

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
OFFICIAL USE	
Certified Mail Fee \$ <i>4.40</i>	
Extra Services & Fees (check box, add fees as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$ <i>3.65</i>	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	Postage \$ <i>.68</i>
<input type="checkbox"/> Adult Signature Restricted Delivery \$	Total Postage and \$ <i>8.73</i>
Sent To DENTON GLEN M DENTON CHARLOTTE L PO BOX 322 COLLBRAN, CO 81624-0322	Street and Apt. No City, State, ZIP+4® COLLBRAN, CO 81624-0441
PS Form 3800, A	

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
OFFICIAL USE	
Certified Mail Fee \$ <i>4.40</i>	
Extra Services & Fees (check box, add fees as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$ <i>3.65</i>	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	Postage \$ <i>.68</i>
<input type="checkbox"/> Adult Signature Restricted Delivery \$	Total Postage and \$ <i>8.73</i>
Sent To COX THOMAS A COX JULIA A P.O. BOX 441 COLLBRAN, CO 81624-0441	Street and Apt. No City, State, ZIP+4® COLLBRAN, CO 81624-0441
PS Form 3800, A	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 		A. Signature <input checked="" type="checkbox"/> <i>Glen Denton</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to:		B. Received by (Printed Name) <i>Glen Denton</i>	C. Date of Delivery <i>3-29-24</i>
DENTON GLEN M DENTON CHARLOTTE L PO BOX 322 COLLBRAN, CO 81624-0322		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
 9590 9402 8642 3244 1162 58		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
2. Article Number (Transfer from service label) 022 1670 0001 9697 4599		<input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Registered Mail™ <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Signature Confirmation Restricted Delivery	
PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

SCHENKELBERG MICHAEL K
 MATHIAS JULIE A
 140 VISTA GRANDE ROAD
 GRAND JUNCTION, CO 81507-1468



9590 9402 8642 3244 1162 34

2. Article Number (Transfer from service label)

022 1670 0001 9697 4544

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

- A. Signature Agent Addressee
- B. Received by (Printed Name) Date of Delivery 3-29-24
- D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Domestic Return Receipt

**U.S. Postal Service™
 CERTIFIED MAIL® RECEIPT**
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ 3.65

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$ 8.73

Total Postage and Certified Mail Fee \$

Sent To SCHENKELBERG MICHAEL K
 MATHIAS JULIE A
 Street and Apt. No 140 VISTA GRANDE ROAD
 City, State, ZIP+4® GRAND JUNCTION, CO 81507-1468

PS Form 3800, A

7022 1670 0001 9697 4544

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OFFICIAL USE

Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ 3.65

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$ 8.73

Total Postage and Certified Mail Fee \$

Sent To VERTICAL BRIDGE REALTY
 ATTN: NATHAN TUCKER
 Street and Apt. No 750 PARK OF COMMERCE DRIVE
 City, State, ZIP+4® SUITE 200
 BOCA RATON, FL 33487

PS Form 3800, A

7022 1670 0001 9697 4513

**U.S. Postal Service™
 CERTIFIED MAIL® RECEIPT**
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee \$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ 3.65

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$ 8.73

Total Postage and Certified Mail Fee \$

Sent To SHIFLET JOHN D SHIFLET JAMES W
 et al.
 Street and Apt. No PO BOX 162
 City, State, ZIP+4® RIFLE, CO 81650

PS Form 3800, A

7022 1670 0001 9697 4582

12/16/24
Pasted

NOTICE OF PUBLIC HEARING

TAKJI NOTICE (see, pursuant to Section 15.03 of the Town of Collbran Municipal Code, the Town of Collbran Board of Trustees (the "Board") will hold a public hearing to consider a special use permit application submitted by the Town of Collbran for a 40-foot wireless tower to be located at Grand Park, 3000 Peninsula Road, Collbran, CO 81624. This request is submitted pursuant to Section 15.03.080 of the Municipal Code as a Special Use in the Public Zone District.

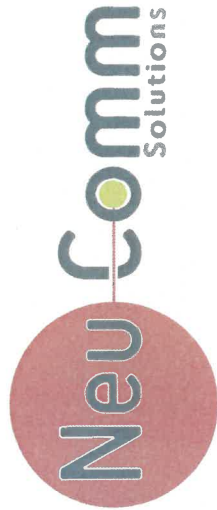
ALL PERSONS AFFECTED by the proposed applications are invited to appear and state their views, interests or support about the application verbally, in writing or both. If you cannot appear personally at such hearing, then you are urged to state your views by letter to the Board of Trustees for consideration in their decision to approve, conditionally approve or deny the request. The application may be reviewed at the Collbran Town Hall located at 1010 High Street, Collbran, Colorado during regular business hours, Monday through Friday, 9:00 a.m. to 5:00 p.m.

A PUBLIC HEARING on this application has been scheduled for the 16th day of April, 2024 at 6:00 p.m. in the Collbran Town Hall, 1010 High Street, Collbran, Colorado.

Néoniz Matarazzo, Town Clerk

Post-d
3/29/24





SITE NAME: TOWN OF COLLBRAN
PROJECT: GANDI PARK BROADBAND TOWER
ADDRESS: 5800 PENINSULA RD
COLLBRAN, CO 81624

SITE CONTACT:
 MELONIE MATOROZZO
 TOWN OF COLLBRAN
 TOWNMANAGER@TOWNOFCOLLBRAN.US

PROJECT DESCRIPTION:
 INSTALLATION OF A NEW TOWN OF
 COLLBRAN OWNED RADIO TOWER &
 STANDALONE GENERATOR.

SITE ACCESS:
 MUST SCHEDULE SITE VISITS, PRIOR TO
 ACCESSING SITE.

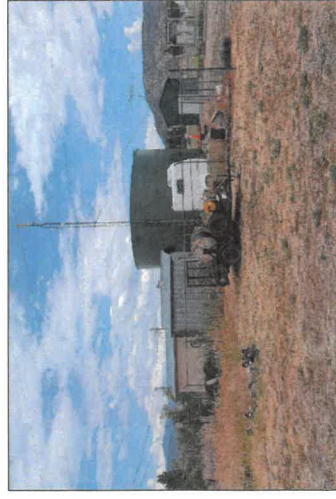
PROJECT DATA:

COUNTY: MESA COUNTY
 JURISDICTION: TOWN OF COLLBRAN
 PARCEL NUMBER: 266726400044
 PROPERTY OWNER: 1010 HIGH ST, PO BOX 387
 ADDRESS: COLLBRAN, CO 81624
 ZONING DISTRICT: PUBLIC
 ACREAGE: 60
 LEGAL DESCRIPTION: BEG. 365FT N OF SW COR
 SE4SE4 SEC 26 9S 95W N
 598.19FT N 78DEG08'E
 517.78FT S 01DEG16' W 5
 41.9FT S 70DEG40' W
 68.27FT TO BEG
 OCCUPANCY TYPE: U
 NUMBER OF STORIES: 1
 GOVERNING CODES: 2018 IBC, 2023 NEC

SHEET LIST:

T1 TITLE SHEET
 1 OF 1 SUBMITTALS
 A1.0 OVERALL SITE PLAN
 A1.1 DETAILED SITE PLAN
 A1.2 DIMENSIONED SITE PLAN
 A2.1 EXISTING & NEW NORTH ELEVATIONS
 A2.2 EXISTING & NEW EAST ELEVATIONS

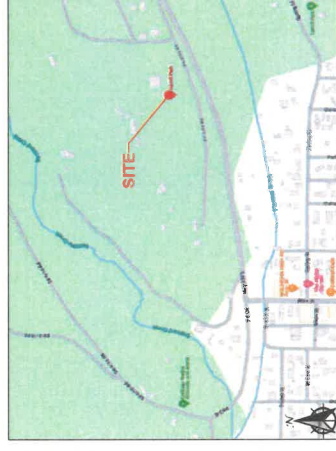
SITE PHOTO:



PROJECT TEAM:
 CONSTRUCTION MANAGER:
 KAREN DIAK
 NEUCOMM SOLUTIONS
 303.623.0023
 KAREN@NEUCOMMSOLUTIONS.COM

ABE MANAGER:
 ADAM DAILEY
 MOUNTAIN WIRELESS
 720.255.6089
 ADAILEY@MOUNTAINWIRELESS.COM

SITE MAP:





GRAPHIC SCALE: 1" = 50'
 LINEAR UNIT = U.S. SURVEY FOOT
 1-FOOT CONTOUR INTERVAL

- SITE MAP - COLLBRAN GANDI PARK TOWER & CNL

located in the SE1/4 of Section 26, 19S, R95W, 6TH P.M.,
 Town of Collbran, Mesa County, Colorado

SURVEYOR CERTIFICATE

I, Ted Taggart, hereby certify that I am a Professional Land Surveyor and that I hold Certificate No. 37075 as prescribed by the laws of the State of Colorado. The survey was performed under my direct supervision and performed by me or under my supervision; that the results of said survey are accurately shown hereon to the best of my knowledge and belief; that no title search was made by me to determine ownership, easements or right-of-ways, recorded or unrecorded, except as shown hereon.

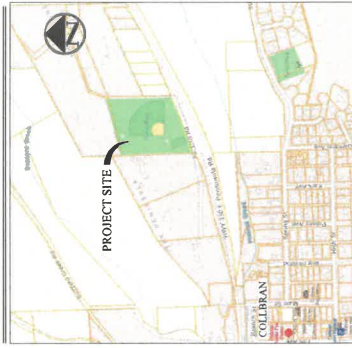


Ted T. Taggart
 Colorado Registered Land Surveyor No. 37075

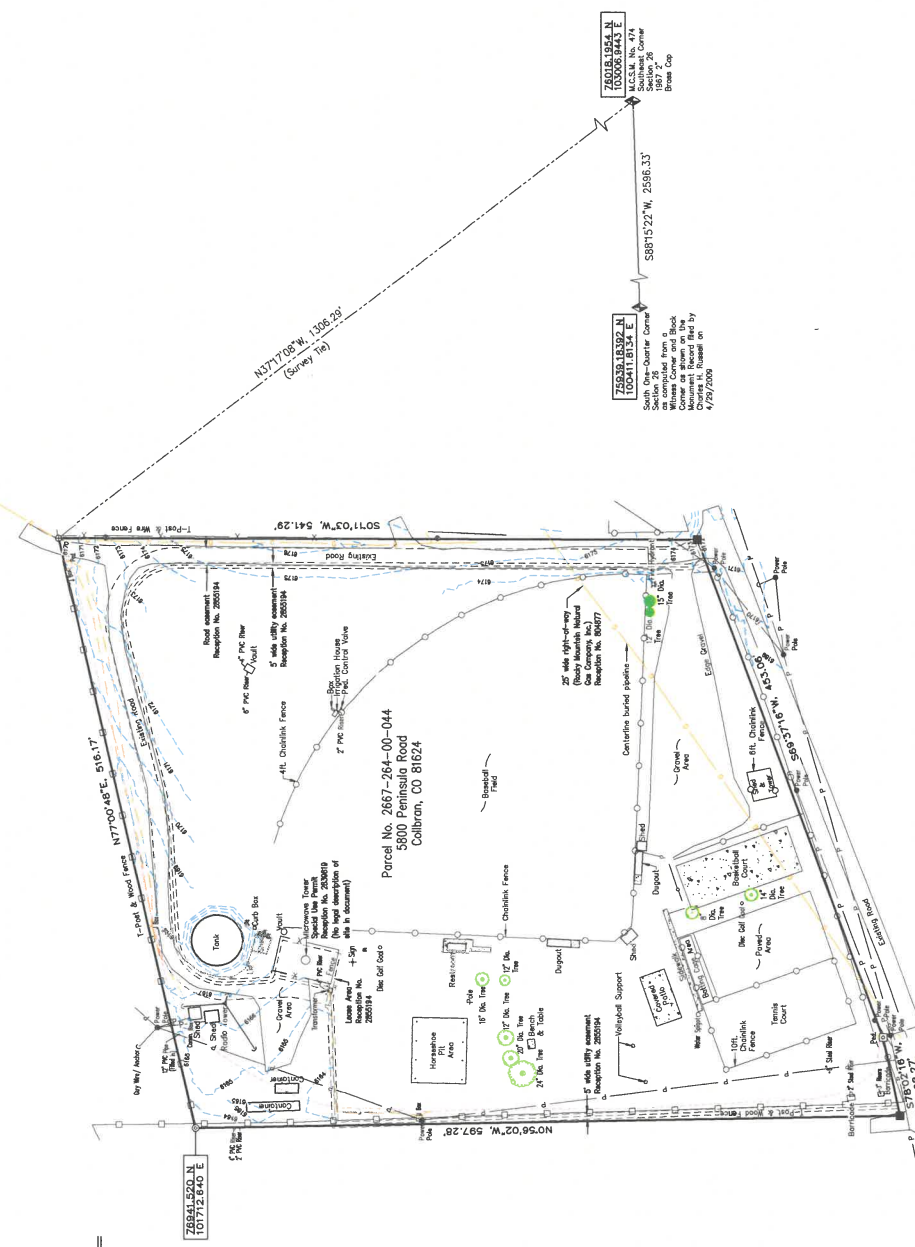
NOTES

1. Basis of Bearing Statement:
 The Basis of Bearing for this plat is S 83°15'22" W, 2586.33' between found monument at the Southeast Corner and computed position as shown at the South Corner of the Parcel. The monument is a 1/2" diameter iron pipe set in concrete. Area Local Coordinate System (M.C.A.L.C.S.). The monuments are fully described hereon.
2. Date of Survey: January 29, 2024
3. Survey requested by: Karen Daack
4. The purpose of this survey is to create a Site Plan to show existing conditions relative to the boundary of this parcel. This is not a boundary survey.
5. Title Commitment provided by:
 Title Commitment No. 2020019
 Order No. RND6857402, dated February 15, 2024.
6. There is a 20 foot wide drainage easement North and South of the property. Reception No. 816242

LOCATION MAP



LOCATION MAP SCALE 1" = 500'



- ### LEGEND
- FOUND MESA COUNTY SURVEY MARKER
 - CALCULATED POSITION ONLY
 - FOUND NO. 3 REBAR
 - FOUND 1-1/2" ALUMINUM CAP INSCRIBED "PLS 2013"
 - WATER VALVE
 - WATER METER
 - SEWER
 - POWER POLE
 - OUT WIRE/ANCHOR
 - CONCRETE
 - OVERHEAD POWER LINE
 - UNDER GROUND POWER LINE
 - GAS LINE
 - COMMUNICATIONS LINE
 - PINK PIN FLAG LINE
 - EASEMENTS AS NOTED
 - EXISTING CHAINLINK FENCE
 - EXISTING T-POST & WOOD FENCE
 - EXISTING T-POST & WIRE FENCE
 - PRE THORNT

COORDINATE SYSTEM

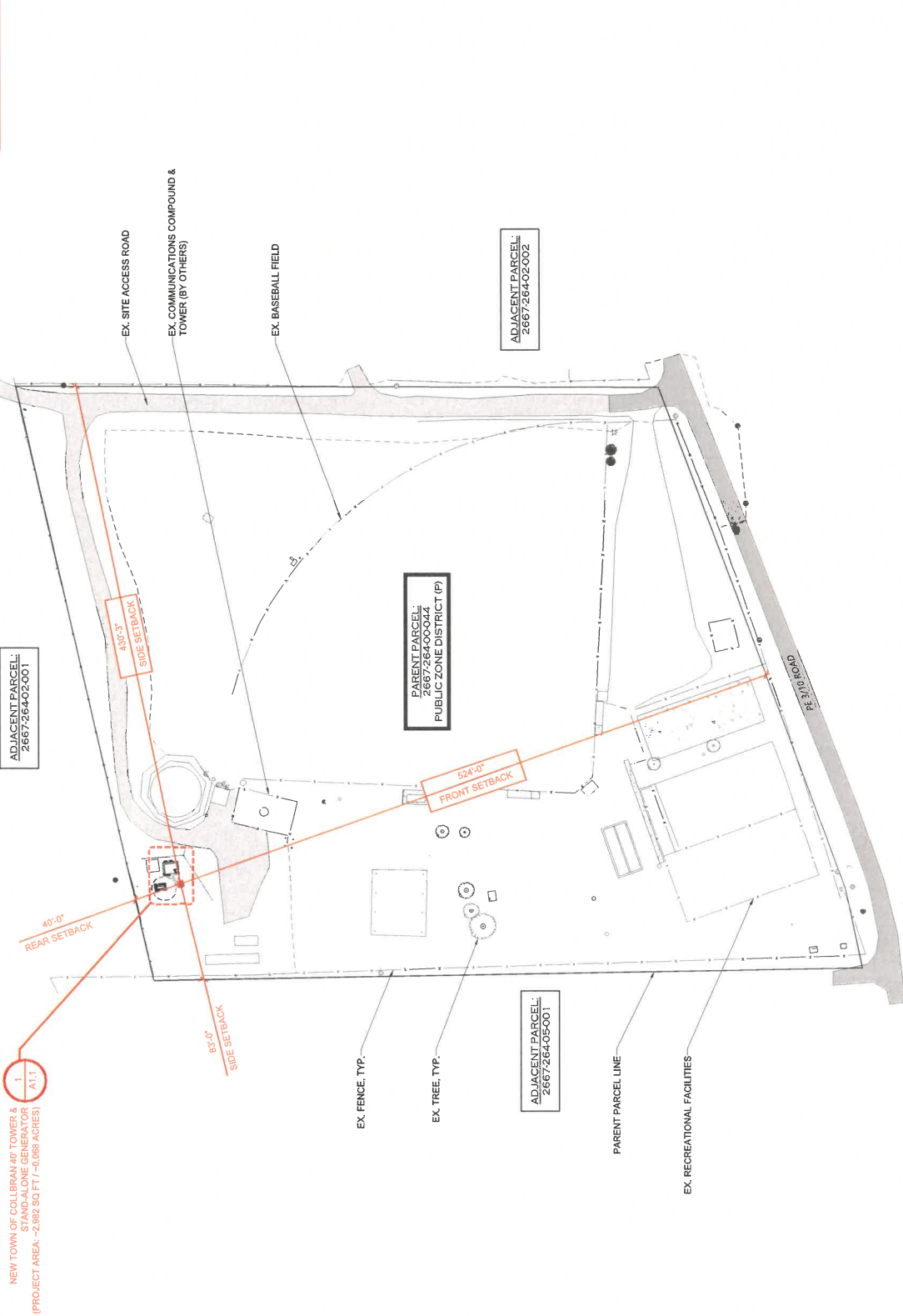
Mesa Collbran Area Local Coordinate System
 Projection: Transverse Mercator
 Point of Origin:
 Northing: 530000 F
 Easting: 3971011.201487 N
 Spheroid: 1882
 Longitude: 108°08'19.801137 W
 Scale Factor: 1.000267301

- SITE MAP -
COLLBRAN GANDI PARK
TOWER & CNL
 located in the SE1/4 of Section 26, 19S, R95W, 6TH P.M.,
 Town of Collbran, Mesa County, Colorado

Mesa Collbran Surveying Associates
 P.O. Box 584
 Collbran, Colorado 81624
 Phone: (970) 832-9270
 Email: mesa@mesacollbransurveying.com

Date of Survey: January 29, 2024 | Project No. 24-1-01 | Revision
 Drawn by: CT | Date: March 4, 2024 | Sheet 1 of 1 | 2

TOWN OF COLLBRAN SETBACKS
LAND USE: P (PUBLIC)
1. FRONT YARD: 20 FEET
2. REAR YARD: 20 FEET
3. SIDE YARD: 10 FEET



1
NEW TOWN OF COLLBRAN 40' TOWER &
STAND-ALONE GENERATOR
(PROJECT AREA - 2,892 SQ FT / ~0.068 ACRES)
A1.1

ADJACENT PARCEL:
266726442001

430'-3"
SIDE SETBACK

40'-0"
REAR SETBACK

63'-0"
SIDE SETBACK

PARENT PARCEL:
26672640044
PUBLIC ZONE DISTRICT (P)

524'-0"
FRONT SETBACK

ADJACENT PARCEL:
266726402002

ADJACENT PARCEL:
266726405001

EX. SITE ACCESS ROAD
EX. COMMUNICATIONS COMPOUND &
TOWER (BY OTHERS)
EX. BASEBALL FIELD
EX. FENCE, TYP.
EX. TREE, TYP.
PARENT PARCEL LINE
EX. RECREATIONAL FACILITIES

SITE NAME:
TOWN OF COLLBRAN

SITE ADDRESS:
5800 PENINSULA RD
COLLBRAN, CO 81624

PROJECT:
GANDI PARK BROADBAND
TOWER

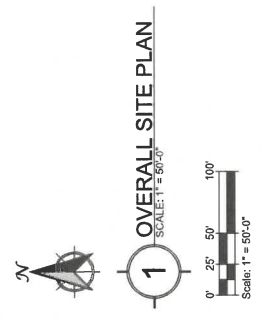
ISSUE PHASE:
REVISION B

ISSUE DATE:
03.04.2024

OVERALL SITE PLAN

A1.0

SCALE SET FOR 24"x36" SHEET
USE 1/2 SCALE FOR 11"x17" SHEET



NOT FOR CONSTRUCTION

SITE NAME:
TOWN OF COLLBRAN

SITE ADDRESS:
5800 PENINSULA RD
COLLBRAN, CO 81624

PROJECT:
GANDI PARK BROADBAND TOWER

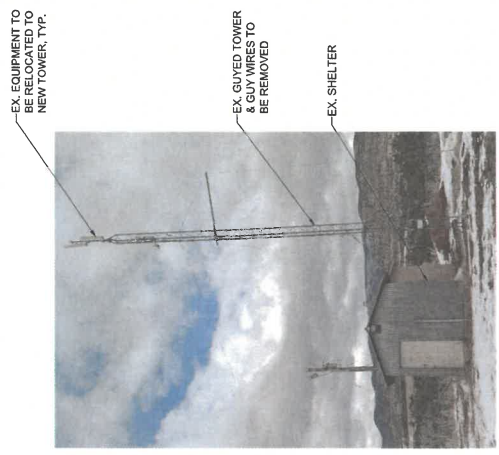
ISSUE PHASE:
REVISION B

ISSUE DATE:
03.04.2024

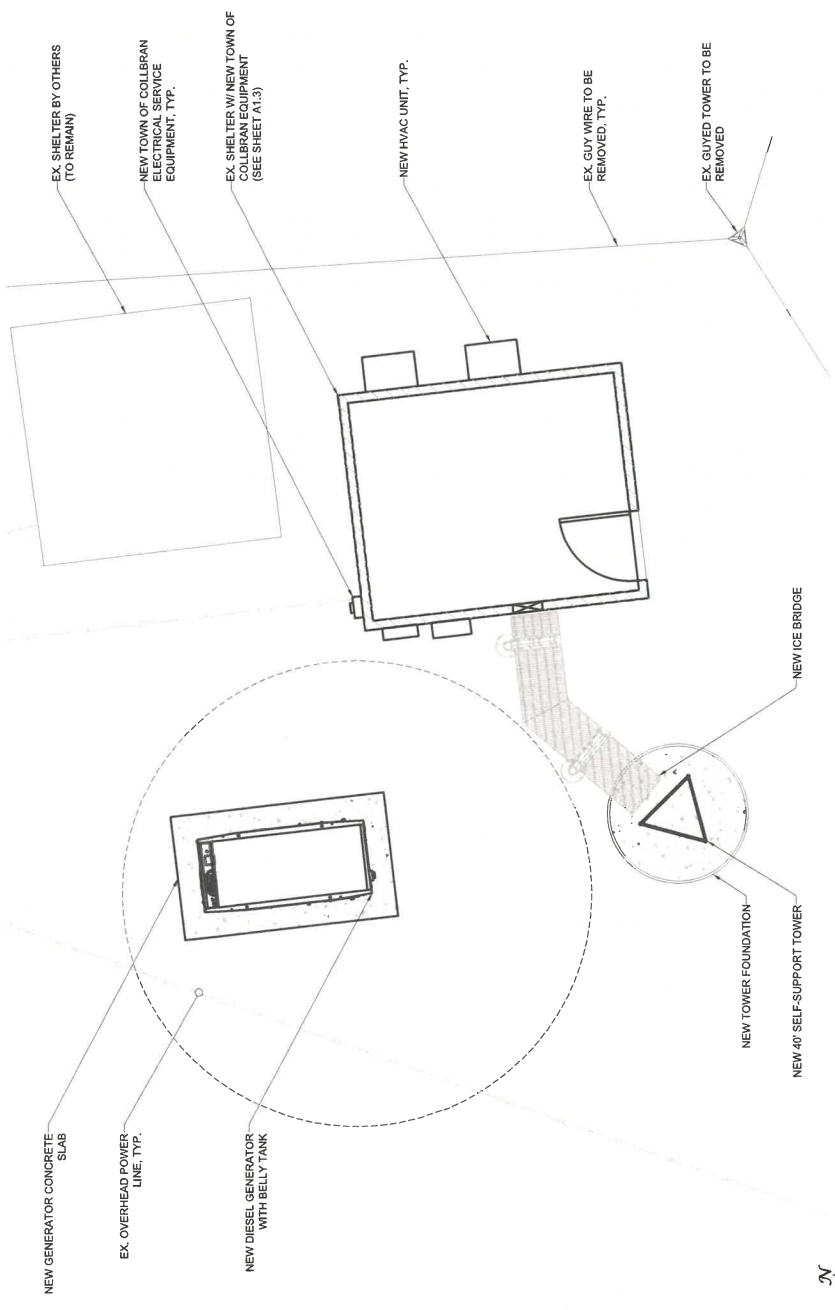
DETAILED SITE PLAN

A1.1

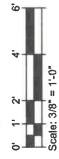
SCALE SET FOR 24"x36" SHEET
USE 1/2 SCALE FOR 11"x17" SHEET



'A'
EX. SHELTER & TOWER PHOTO



1 DETAILED SITE PLAN
SCALE: 3/8" = 1'-0"



NOT FOR CONSTRUCTION
 ZONING

SITE NAME:
 TOWN OF COLLBRAN

SITE ADDRESS:
 5800 PENINSULA RD
 COLLBRAN, CO 81624

PROJECT:
 GANDI PARK BROADBAND
 TOWER

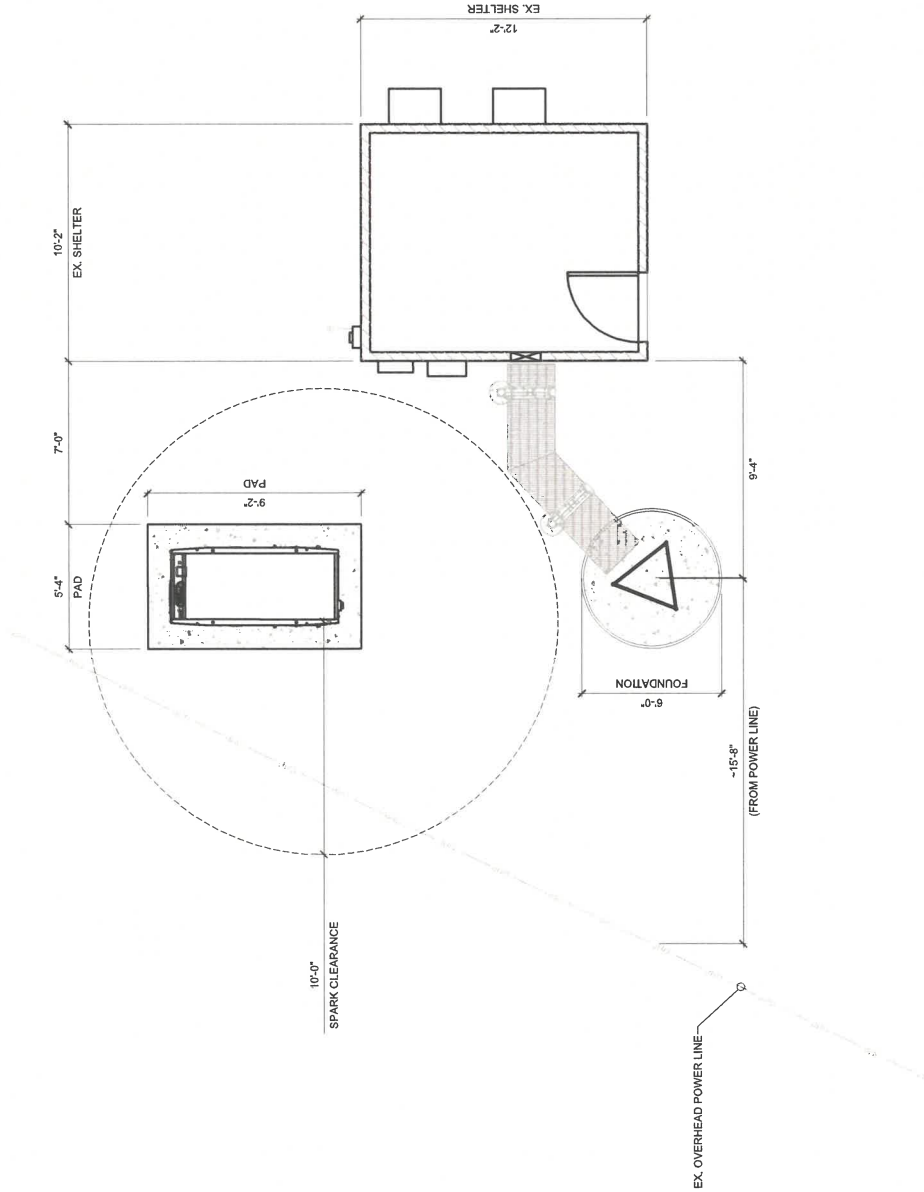
ISSUE PHASE:
 REVISION B

ISSUE DATE:
 03/04/2024

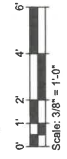
DIMENSIONED SITE PLAN

A1.2

SCALE SET FOR 24"x36" SHEET
 USE 1/2" SCALE FOR 11"x17" SHEET



1 DIMENSIONED SITE PLAN
 SCALE: 3/8" = 1'-0"



NOT FOR CONSTRUCTION ZONING

SITE NAME:
 TOWN OF COLLBRAN

SITE ADDRESS:
 5800 PENINSULA RD
 COLLBRAN, CO 81624

PROJECT:
 GANDI PARK BROADBAND TOWER

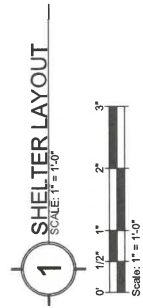
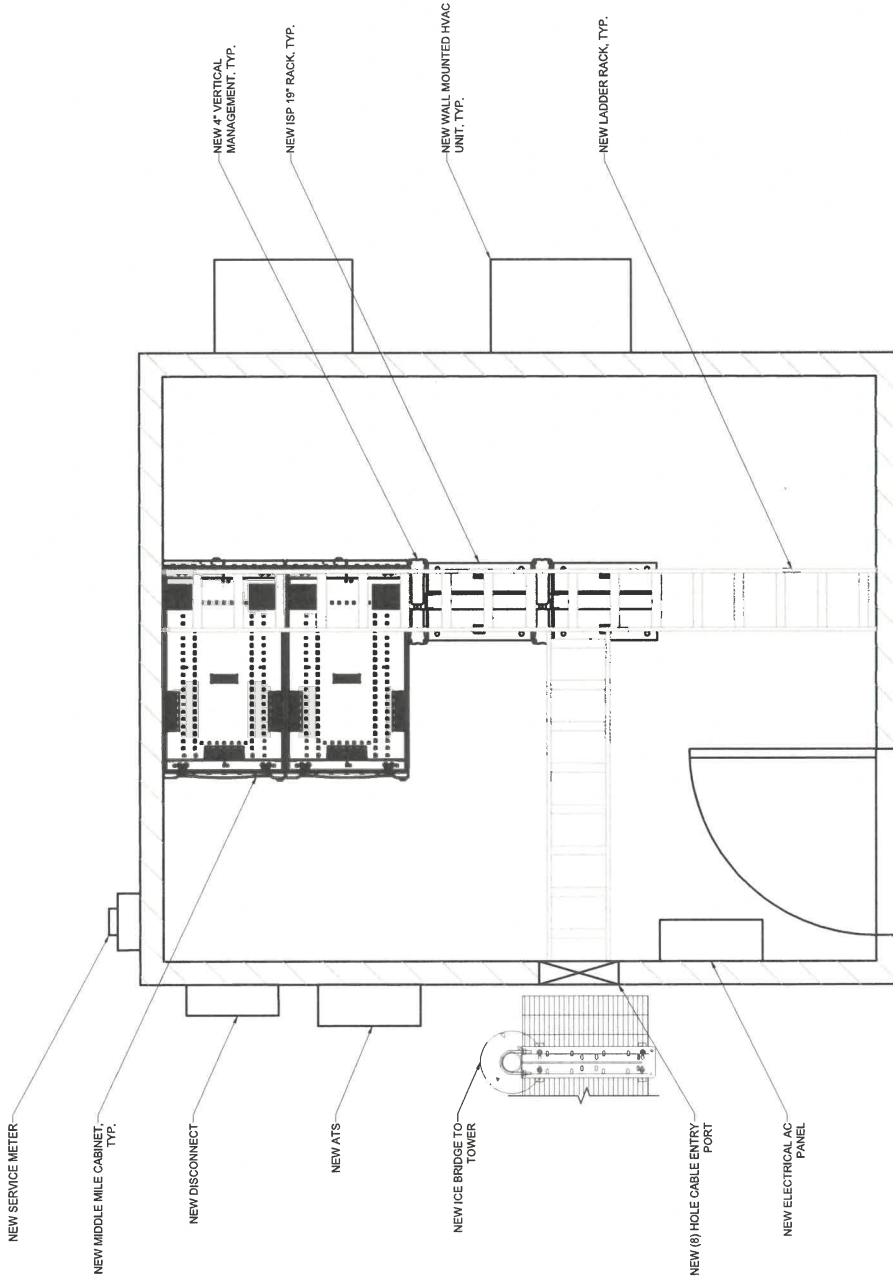
ISSUE PHASE:
 REVISION B

ISSUE DATE:
 03.04.2024

SHELTER LAYOUT

A1.3

SCALE SET FOR 24"x36" SHEET
 USE 1/2" SCALE FOR 11"x17" SHEET



NOT FOR CONSTRUCTION ZONING

SITE NAME:
TOWN OF COLLBRAN

SITE ADDRESS:
5800 PENINSULA RD
COLLBRAN, CO 81624

PROJECT:
GANDI PARK BROADBAND TOWER

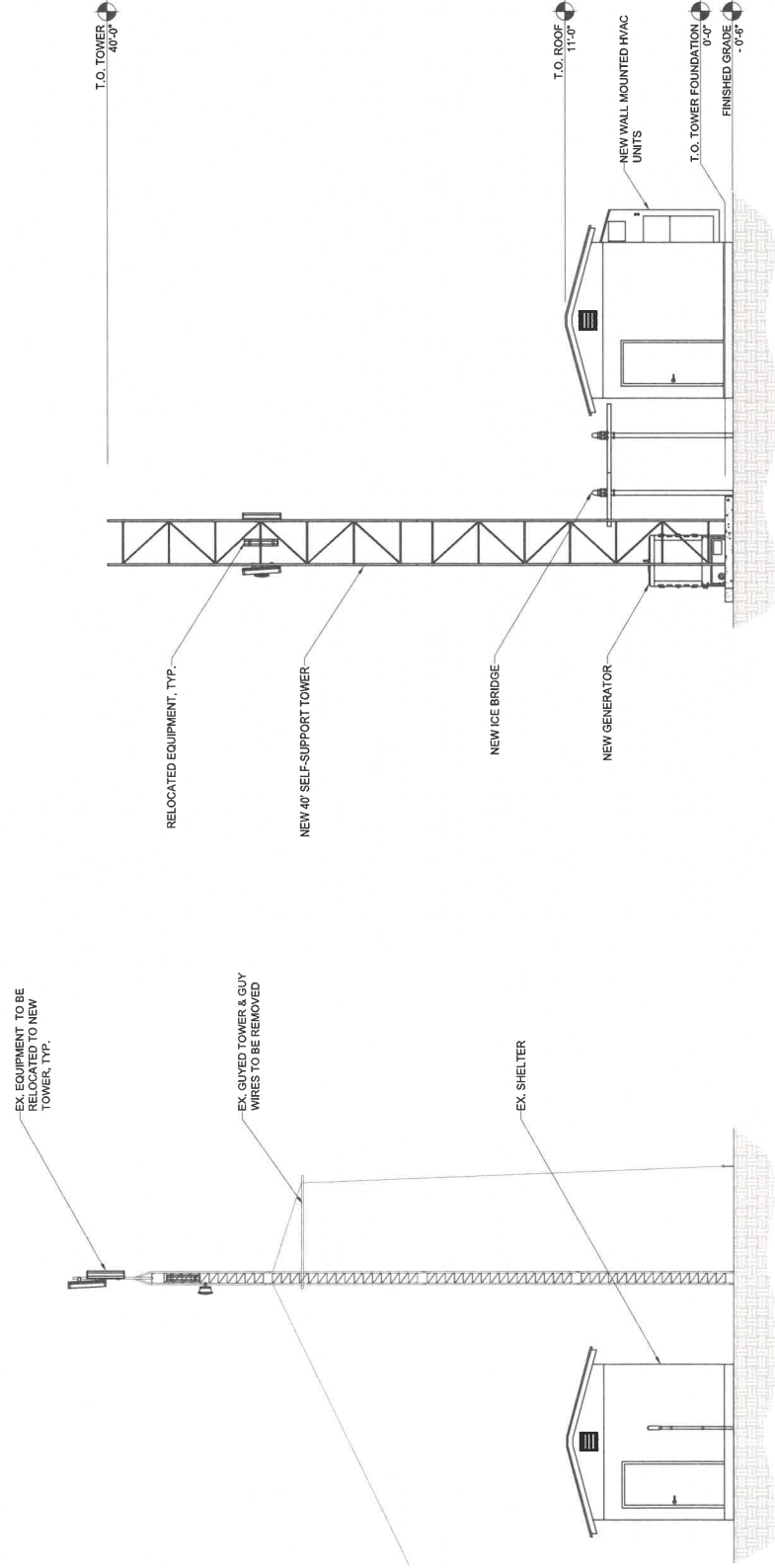
ISSUE PHASE:
REVISION B

ISSUE DATE:
03.04.2024

EXISTING & NEW
NORTH
ELEVATIONS

A2.1

SCALE SET FOR 24"x36" SHEET
 1/2" = 1' SCALE FOR 11"x17" SHEET



1 EX. NORTH ELEVATION
 SCALE: 1/4" = 1'-0"
 Scale: 1/4" = 1'-0"
 0' 2' 4' 8'

2 NEW NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

SITE NAME:
TOWN OF COLLBRAN

SITE ADDRESS:
5800 PENINSULA RD
COLLBRAN, CO 81624

PROJECT:
GANDI PARK BROADBAND
TOWER

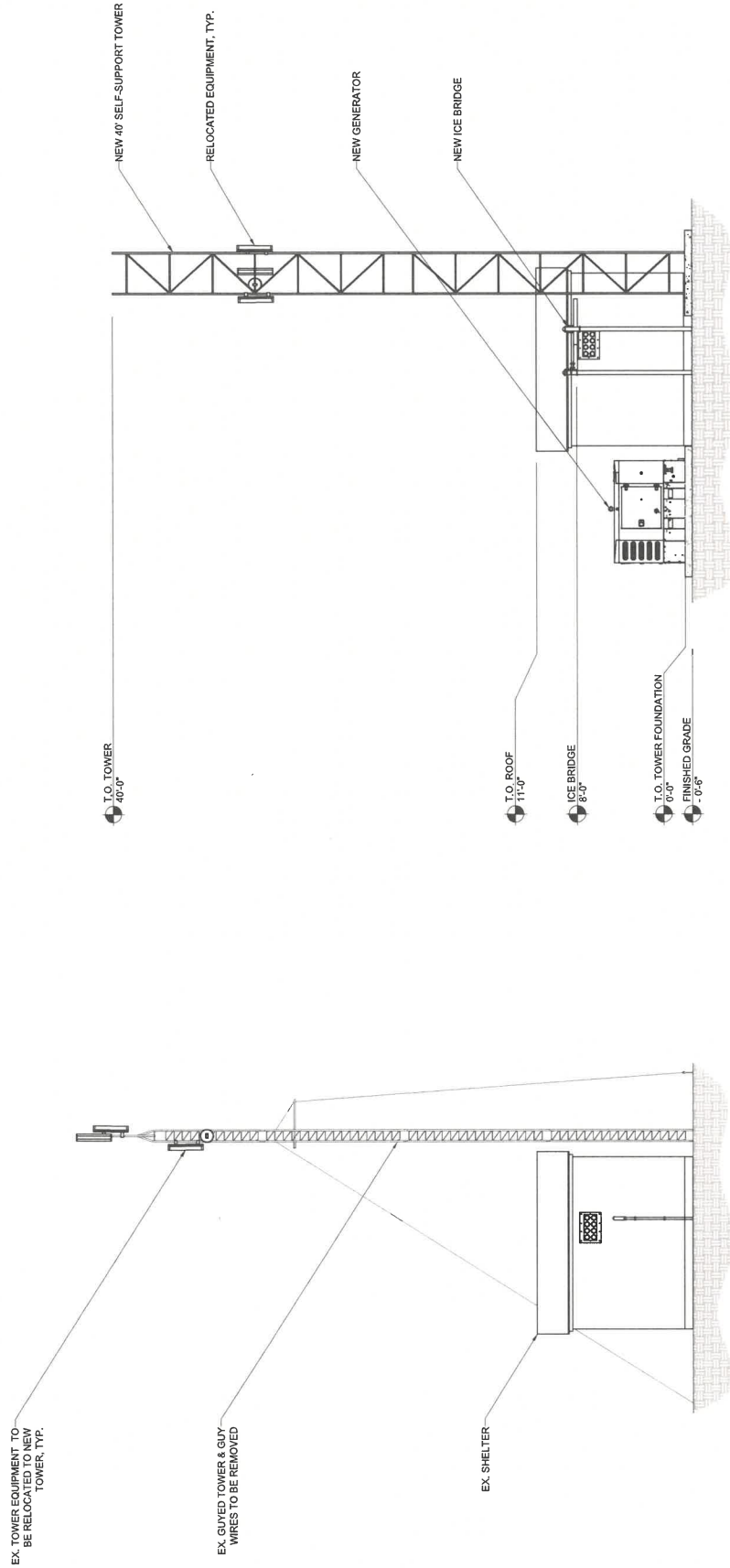
ISSUE PHASE:
REVISION B

ISSUE DATE:
03.04.2024

EXISTING & NEW
EAST ELEVATIONS

A2.2

SCALE SET FOR 24"x36" SHEET
1/2" = 1' SCALE FOR 11"x17" SHEET



1 EX. EAST ELEVATION
SCALE: 1/4" = 1'-0"
0' 2' 4' 8'

2 NEW EAST ELEVATION
SCALE: 1/4" = 1'-0"

Project Narrative
Name: Terrell Park Subdivision

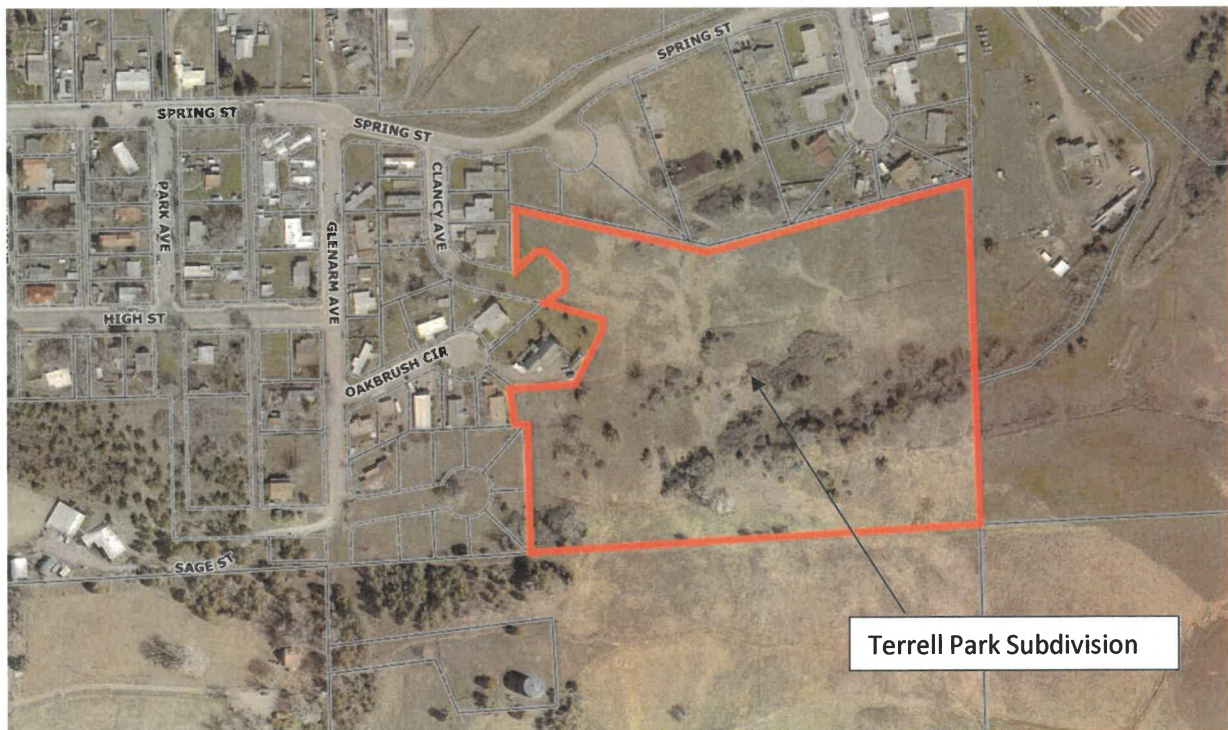
April 9, 2024

Project Information

Applicant/Owner: Andy Azcaragga – 5A Enterprises LLC
Developer: Andy Azcaragga
Representative: River City Consultants, Inc. – Courtney Patch
Location: Address TBD
Parcel No: 2667-351-00-066
Application: Minor Subdivision
Zoning: Residential 1

Project Description:

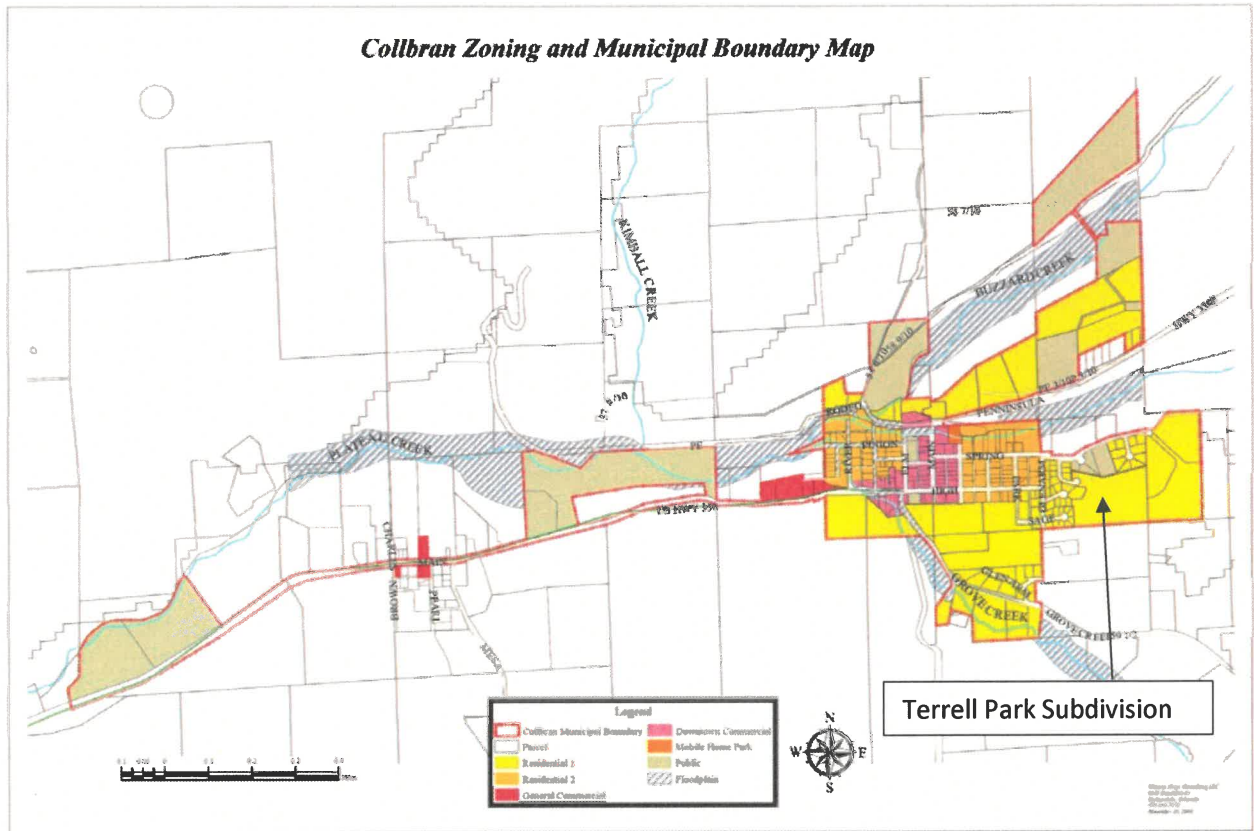
The project proposes to subdivide approximately 12.42 acres, zoned Residential 1, into 42 lots for construction of single-family residential homes. The lot sizes will be approximately 8,000-17,000 square feet.



Compatibility with Surrounding Land Uses:

The proposed project is compatible with surrounding land uses. The property is currently zoned Residential 1 with a Land Use by Type of Agricultural. The proposed project is

consistent with existing development in the area. Surrounding parcels are zoned Residential 1. The surrounding area's future land use is Residential Low (4 DU/ acre). The proposed subdivision is compatible with this designation as it meets a density of approximately 3.38 dwelling units per acre.



Facilities and Services/Irrigation:

Water will be provided by the Town of Collbran’s Water System, please see the detailed Water Report for more information. The subdivision will be served by the Town of Collbran’s Wastewater System for sewer, please see the detailed Wastewater Report for more information.

Grand Valley Power will provide electric service to the subdivision and Black Hills Energy will supply gas to the lots. There is an existing 25’ pipeline easement that crosses the southeast corner of the property. This is to be vacated and/or relocated based on discussions with Black Hills Energy. Telephone and cable services will be provided by CenturyLink and will be extended to the site. Please see the detailed Utilities Report for more information.

All services will be available for use by the subdivision while maintaining adequate levels of service to the existing surrounding development.

The subject parcel is located within the Plateau Valley Fire District. There are two fire hydrants

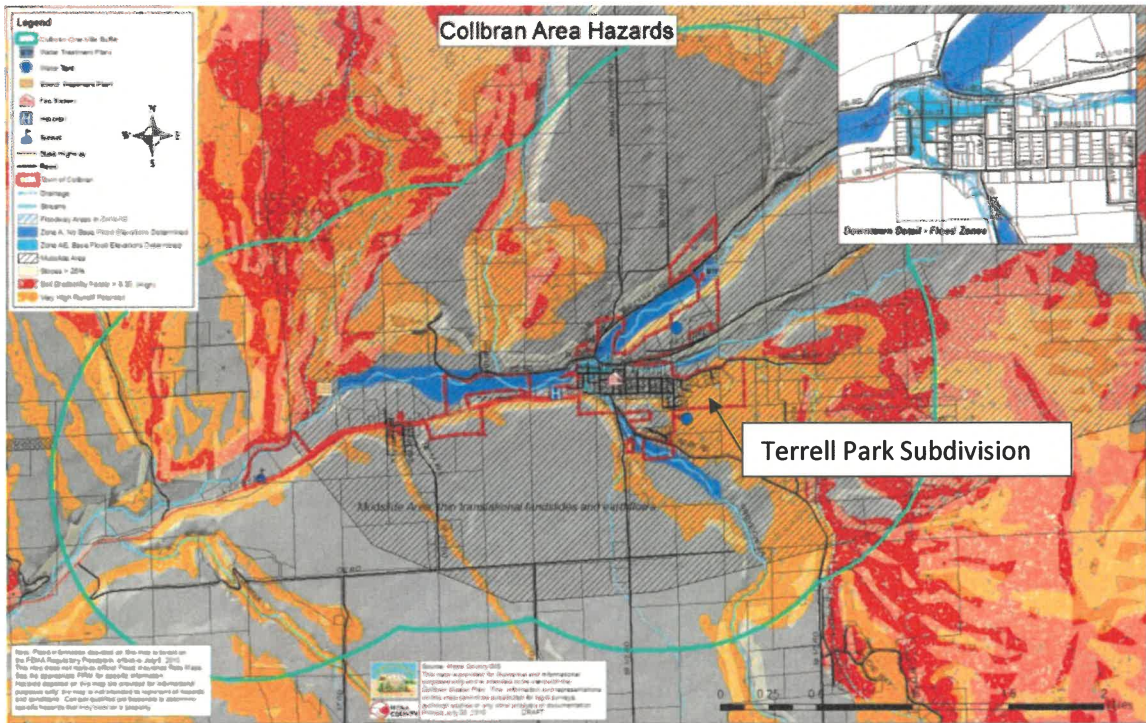
within close proximity to the proposed subdivision. One is near the intersection of Spring Street and Clancy Avenue, and the other is in the cul-de-sac of Oakbrush Circle.

Effect on the Natural Environment:

There are no physical development constraints affecting or any detrimental impacts on the natural environment anticipated as a result of the project.

Landscaping: The stormwater drainage basin will be landscaped with a weed-free, native vegetation seed mix. A landscape plan will be provided after the Sketch Plan phase of review.

Hazards Areas: The property is located within an area known for high runoff potential.



Stormwater:

There will be a stormwater detention pond in the northwest corner of the subdivision that will collect all stormwater runoff from the subdivision. The proposed project will include lot grading, paved curb & gutter, double storm drain inlets, storm drain, and a detention pond to collect, convey, and treat stormwater in the proposed condition. Runoff from the developed areas on the interior of the subdivision will sheet flow directly to curb & gutter in the street sections that collect and convey stormwater northwest through the subdivision. Once in the curb and gutter, stormwater is conveyed to curb inlets that then convey the stormwater underground via storm drain to the detention pond. The water will then be released to the existing storm sewer system at its historical rate.

Access:

Access to the subdivision will be extended from Clancy Avenue. The connecting street will

extend to the east and have a southern street connection that also has another cul-de-sac off it extending to the east. The street running north/south will stub out at the southern part of the subdivision for future connectivity to the parcel south of the project site whenever it is developed. There is a recorded cul-de-sac bulb located at the entrance of the project site on Clancy Ave with ROW that needs to be vacated with the final plat.

Development/Phasing:

Development of this project will begin immediately after approval. No phasing is being proposed for this subdivision.

Vicinity Map



Parcel Number:
2667-351-00-066
Proposed location of
Terrell Park
Subdivision

Printed: 4/8/2024
1 inch equals 0 miles
Scale: 1:4,514

0.55 mi

0.28



Town of Collbran

Terrell Park Subdivision

2667-351-00-066
Collbran, Colorado 81624

CONSTRUCTION PLANS

Prepared for:
5A INVESTMENTS, LLC

PROPOSED ZONING SUMMARY
Zoning: R-1
Min Lot Size: 6,250 FT²
Min Lot Frontage: 20 FT
Min Setbacks:
Front: 15' FT
Side: 5 FT
Rear: 10 FT
Max Height (Building): 35 FT
Max Lot Coverage: 70%

*15 feet from the right-of-way or 20 feet from the sidewalk, whichever is greater.



SITE BREAKDOWN

Lots (42) (Residential Single Family)	10,188 ac 82.1
Tract A (Drainage - HOA)	2,002 ac 16.1%
Right of Way	12,358 ac 100.0%
Right of Way (to be vacated)	0.097 ac



INDEX OF SHEETS

Sheet No.	Description
C1	Cover Sheet
C2	Sketch Plan



DESIGN TEAM CONTACTS

OWNER/DEVELOPER:
5A INVESTMENTS, LLC
Andy Azcarogga
970.243.3221
andy.maconer.ete@gmail.com

CIVIL:
RIVER CITY CONSULTANTS, INC.
Jeff Mace
215 Pitkin Ave, # 201
Grand Junction, CO 81501
970.241.4722
jrmace@ccwest.com

SURVEY:
RIVER CITY CONSULTANTS, INC.
Alec Thomas
215 Pitkin Ave, # 101
Grand Junction, CO 81501
970.241.4722
atthomas@ccwest.com

UTILITY CONTACTS

- Sewer - Town of Collbran Contact: 970-985-0245
- Water - Town of Collbran Contact: 970-985-0245
- Electric - Grand Valley Power Contact: 970-242-0040
- Gas - Black Hills Energy Contact: 970-808-5042
- Phone - CenturyLink Contact: 970-244-2626
- Cable - Dish Network Contact: 833-815-1274
- Irrigation - Collbran Conservancy District Contact: 970-487-3306

LEGEND

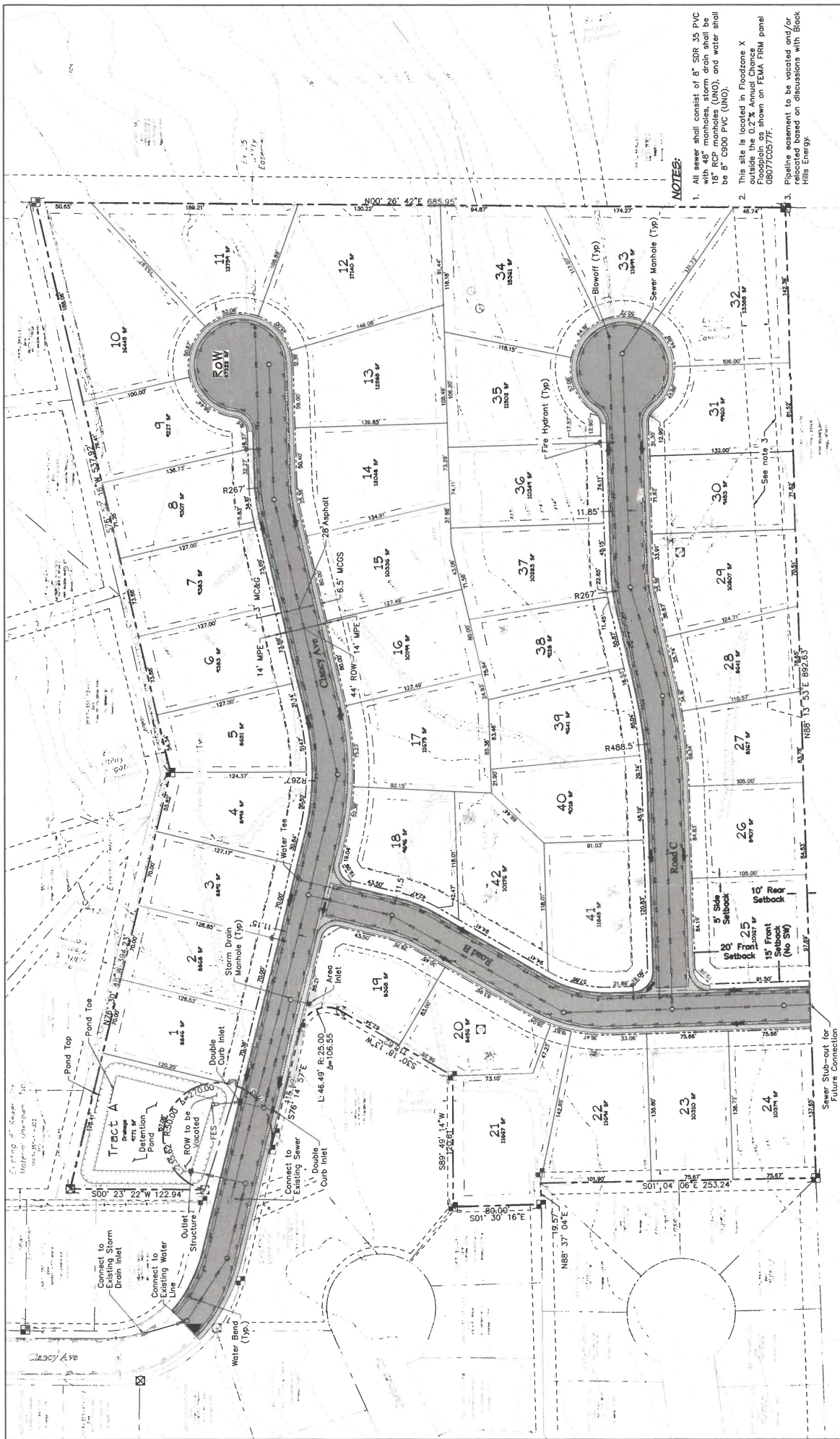
Top of Slope	Existing/Proposed Manholes
Top of Slope	Area Inlet/Curb Inlet/FES
Edge of Asphalt	Fire Hydrant/Blowoff
Edge of Concrete	Valve/Thrustblock
Edge of Gravel	Utility Pedestal/Transformer
Flowline	Decid Tree/Conif Tree
Existing Wire Fence	Utility Pole/Guy Wire
Existing Chain Fence	Survey Monuments - Cap/Rebar
Existing Wood Fence	Proposed Asphalt
Existing Major Contour	Proposed Concrete
Existing Minor Contour	Concentrated Flow Direction
Existing Sanitary Sewer	
Existing Storm Drain	
Proposed Parcel Boundary	
Proposed Easement	
Proposed Right of Way	
Proposed Storm Drain Line	
Proposed Sanitary Sewer Line	
Proposed Water Line	

LIST OF ABBREVIATIONS

ABC	Aggregate Base Course	MHI	Manhole
AC	Asphalt	MIN	Minimum
CCS	Center Line OR Class	MTR	Meter
CL	Center Line OR Class	N	Nothing
CO	Center Line OR Class	PC	Proposed
ELEV	Elevation	PR	Radius
ELEC	Electric	R	Reinforced
EDA	Edge of Asphalt	RC	Reinforced Concrete Pipe
EDM	Edge of Manhole	ROW	Right of Way
EX	Existing	SP	Sidepath
FES	Flared End Section	SW	Sidewalk
FT	Fire Hydrant	TOP	Typical
IR	Irrigation	UNO	Unless Noted Otherwise
MC&G	Mountable Curb & Gutter	VCSS	Vertical Curb, Gutter, & Sidewalk
MCSS	Mountable Curb, Gutter, & Sidewalk	WM	Water Meter
		WTR	Water

ACCEPTANCE BLOCK
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

Date: _____
Team of Collbran



UNOC
 800-262-9988
 1000 W. 10th St.
 Call before you dig
 1-800-485-5844
 CALL 7 DAYS A WEEK BEFORE YOU DIG
 MAINTAINING PUBLIC UTILITIES

811
 Project Benchmark
 TOP BACK OF CURB
 COLBRAN 75510 817963
 EASTINGS: 101924.624337
 ELEVATION: 6036.897
 DATUM: SOURCE: MGS Zone "MGA" (NAD83)

RIVER CITY
 214 River City Blvd
 River City, TN 37070
 Phone: 615-241-1222
 www.rivercity.com
 DRAWN BY: Inv/PROJECT:1330-005
 CHECKED BY: NWH
 ORIGINAL SHEET SIZE: 22" x 34"

5A INVESTMENTS, LLC
 Terrell Park Subdivision
 Sketch Plan
 C2

NO.	DATE	REVISION	PROJECT PHASE: Preliminary/Review

SCALE

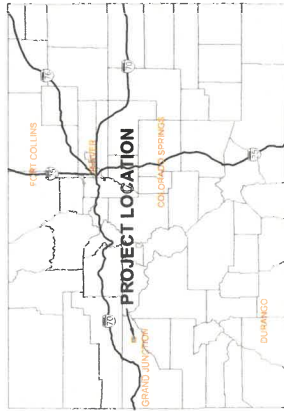
VERTICAL: N/A
 HORIZONTAL: 1" = 40'

CONTOUR INTERVAL: 5 FT

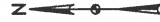
2024 ALLEY SANITARY SEWER REPLACEMENT

TOWN OF COLLBRAN
COLLBRAN, CO

APRIL 2024



STATE OF COLORADO



TOWN OF COLLBRAN



TO SILT
(3.9 MILES)

TO HWY 65
& 170

INDEX OF SHEETS

- 1 COVER SHEET
- 2-3 GENERAL NOTES
- 4 LEGEND
- 5 REMOVALS
- 6 SANITARY SEWER PLAN & PROFILE
- 7 STANDARD DETAILS



VICINITY MAP

1" = 400'



UNCC
811
CALL BEFORE YOU DIG
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

KLJ
TOWN OF COLLBRAN
COLLBRAN, CO 81624
PH: 970.487.3751
FAX: 970.487.3380
ADMIN@TOWNOFCOLLBRAN.US

1601 RIVERFRONT DRIVE, SUITE 204
GRAND JUNCTION, CO 81501
PH: 970.450.7474
www.kljeng.com

KLJ PROJECT NO. 2404-00219-02

PRELIMINARY - NOT FOR CONSTRUCTION



PROJECT CONTACTS:

1. OWNER: TOWN OF COLLEBRAN
ATTN: MELONIE MATAROZZO
PHONE: (970) 487-3751
EMAIL: townmanager@townofcollbran.us

2. ENGINEER: KLJ ENGINEERING
ENGINEER OF RECORD: JASON REIMER, PE
PHONE: (970) 567-9396
EMAIL: jason.reimer@kljeng.com

PROJECT STANDARDS AND SPECIFICATIONS

- UNLESS NOTED OTHERWISE, THE CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS (DATED JULY 2010) CONTROL CONSTRUCTION OF THIS PROJECT UNLESS OTHERWISE NOTED OR SHOWN IN THE PLANS.
- THE CONTRACTOR SHALL HAVE IN THEIR POSSESSION AT ALL TIMES HARD COPIES OF THE PROJECT DRAWINGS AND ALL REFERENCE DESIGN STANDARDS AND SPECIFICATIONS
- ORDER OF PRECEDENCE IN CASE OF CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS. THE ORDER OF PRECEDENCE SHALL BE: (1) PROJECT PLANS; (2) GENERAL NOTES; (3), THE CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS; AND (4) CDOT STANDARD DETAILS AND SPECIFICATIONS.

REQUIRED NOTIFICATIONS AND SUBMITALS

- THE CONTRACTOR SHALL NOTIFY THE OWNER OF UTILITY SERVICE OUTAGE AT LEAST 48 HOURS PRIOR TO DISRUPTION OF SERVICE. ALL SERVICE OUTAGES MUST BE APPROVED BY THE OWNER PRIOR TO DISRUPTION OF SERVICE AND MAY REQUIRE WORKING ATYPICAL HOURS IN ORDER TO AVOID DISRUPTING SERVICE DURING DAYTIME HOURS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TO BE TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO IMPLEMENTATION OF THE CLOSURE.
- THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND ELEVATIONS PRIOR TO START OF DEMOLITION OF EXISTING FACILITIES.
- CONTRACTOR SHALL SUBMIT ANY CHANGE OR DEVIATION FROM THE PROJECT PLANS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS AND/OR MANUFACTURER'S TECHNICAL LITERATURE FOR ALL PROPOSED MATERIALS TO BE INCORPORATED INTO THE PROJECT. THESE SHALL BE APPROVED IN WRITING BY THE OWNER OR ENGINEER PRIOR TO ORDERING AND PLACEMENT/CONSTRUCTION.
- THE CONTRACTOR SHALL RECORD PRECISE LOCATIONS AND ELEVATIONS OF ANY VARIATIONS FROM THE DESIGN ON "AS-BUILT" PLANS SHOWING THE LOCATIONS AND DIMENSIONS OF ANY ELEMENT OF THE PROJECT THAT IS NOT INSTALLED AS DESIGNED, AND SHALL PROVIDE THAT INFORMATION TO THE OWNER PRIOR TO RELEASE OF FINAL PAYMENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IDENTIFY DISPOSAL SITES FOR ANY MATERIALS LEAVING THE PROJECT AREA. IF MATERIALS ARE BEING TAKEN TO ANYWHERE BESIDES A REGISTERED LANDFILL OR GREEN WASTE FACILITY, CONTRACTOR SHALL PROVIDE WRITTEN AGREEMENTS FROM RECEIVING PROPERTY OWNER INDICATING THEIR ACCEPTANCE OF THE MATERIAL AND ANY CONDITIONS FOR USE OF THEIR SITE. FOLLOWING PROJECT COMPLETION, THE OWNER WILL ALSO REQUIRE WRITTEN VERIFICATION FROM THE PROPERTY OWNER THAT THESE CONDITIONS WERE MET BEFORE RETAINAGE IS RELEASED.
- SHOULD HAZARDOUS MATERIALS BE ENCOUNTERED ON THE SITE, CONTRACTOR SHALL LEAVE SUCH MATERIALS UNDISTURBED AND SHALL CONTACT THE OWNER FOR DIRECTION REGARDING HANDING AND DISPOSAL OF THE MATERIALS.

GENERAL NOTES

- THE CONTRACTOR SHALL HAVE FULL AND COMPLETE RESPONSIBILITY FOR JOB-SITE SAFETY AND SHALL PERFORM ALL WORK IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REGULATIONS.
- THE CONTRACTOR SHALL PERFORM THE WORK IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL ORDINANCES, REGULATIONS, AND LAWS.
- LOCATION OF ALL EXISTING UTILITIES (PUBLIC OR PRIVATE) SHALL BE IDENTIFIED OR VERIFIED BY THE CONTRACTOR

PRIOR TO CONSTRUCTION OF PROJECT COMPONENTS, FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC; 811) AND LOCAL UTILITY OWNERS, AS NECESSARY. THE CONTRACTOR SHALL BEAR THE FULL COST OF REMOVAL, REPLACEMENT, AND DELAY RELATED TO UNVERIFIED EXISTING UTILITIES.

- THE POTENTIAL EXISTS FOR UNKNOWN UTILITIES NOT MARKED ON THE PLANS TO BE PRESENT WITHIN THE PROJECT AREA, THE ENGINEER SHOULD BE NOTIFIED IF SUCH UTILITIES ARE ENCOUNTERED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES THROUGHOUT CONSTRUCTION. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR PRE-PROJECT CONDITION AT THE CONTRACTOR'S EXPENSE.

- DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING NEWLY INSTALLED UTILITIES FROM DAMAGE WITHIN THE PROJECT AREA. THE RESPONSIBILITY FOR LOCATING UTILITIES WILL BECOME THAT OF THE OWNER FOLLOWING FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH LOCAL CONDITIONS; THE SPECIFICATIONS OF THE GOVERNING ENTITIES; EXAMINE THE SITE; MAKE TESTS AND PERFORM EXPLORATIONS DEEMED NECESSARY TO EVALUATE THE SURFACE AND SUBSURFACE PHYSICAL CONDITIONS OF THE SITE IN ORDER TO PERFORM THE WORK UNDER THE CONDITIONS THAT EXIST ON THE SITE, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS IN A MANNER SATISFACTORY TO THE OWNER. UNLESS STATED OTHERWISE, THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, TOOLS, LABOR, AND INCIDENTALS NECESSARY TO COMPLETE THE WORK.

- IN SOME CASES, THERE ARE AREAS OF THE SITE DEPICTED ON MORE THAN ONE PAGE OF THE PLANS AND ALL IMPROVEMENTS ARE NOT DEPICTED ON EVERY PAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL PLAN SHEETS AND SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH FAILURE TO REVIEW ALL PLAN SHEETS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCEPTANCE AND CONTROL OF ALL SURFACE AND SUBSURFACE DRAINAGE AND GROUNDWATER ENTERING THE PROJECT AREA. UNLESS A BID ITEM IS PROVIDED, CONTRACTOR IS RESPONSIBLE FOR PROVIDING DEWATERING IF NEEDED AT NO ADDITIONAL COST TO THE PROJECT. DEWATERING METHODS SHALL BE APPROVED BY THE OWNER OR ENGINEER, THE CONTRACTOR SHALL OBTAIN A CDPHE CONSTRUCTION DEWATERING PERMIT FOR ALL CONSTRUCTION ACTIVITIES WHEN NECESSARY.
- A CHANGE ORDER SIGNED BY THE OWNER IS REQUIRED TO QUALIFY ANY EXTRA WORK FOR EXTRA PAYMENT. ANY EXTRA WORK UNDERTAKEN BY THE CONTRACTOR WITHOUT A SIGNED CHANGE ORDER SHALL BE DEEMED TO HAVE BEEN UNDERTAKEN FOR THE CONTRACTOR'S CONVENIENCE AND SHALL NOT BE ELIGIBLE FOR EXTRA COMPENSATION.
- PROJECT ACCESS AND STAGING SHALL BE RESTRICTED TO THE LIMITS OF DISTURBANCE AND EASEMENT AREAS IDENTIFIED ON THE PLANS. ALL ACCESS SHALL BE FROM OWNER PROPERTY OR RIGHT-OF-WAY UNLESS SPECIFICALLY NOTED OR APPROVED OTHERWISE.

REMOVALS AND CLEARING

- WHERE EXISTING ASPHALT PAVEMENT, CONCRETE PAVEMENT, OR CONCRETE SIDEWALK IS TO BE REMOVED ADJACENT TO STRUCTURES, CONCRETE, OR ASPHALT TO REMAIN, IT SHALL BE CUT FULL DEPTH TO A NEAT LINE. CONCRETE REMOVALS SHALL BE TO THE NEAREST TOOL JOINT UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL MATERIALS REMOVED FROM THE SITE IN ACCORDANCE WITH APPLICABLE WASTE HANDLING AND DISPOSAL LAWS. THE COST FOR HAULING AND DISPOSAL OF REMOVED MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE FOR THE RELATED BID ITEM UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE POTENTIAL EXISTS FOR BURIED RUBBLE (ASPHALT, CONCRETE, DEBRIS, ETC) TO BE ENCOUNTERED WITHIN PROJECT EXCAVATIONS. IF ENCOUNTERED, THESE MATERIALS SHALL BE SEGREGATED FROM EXCAVATED SOILS AND DISPOSED OF AT THE LOCAL LANDFILL.
- BURNING OF REMOVED MATERIAL WILL NOT BE ALLOWED WITHIN THE PROJECT AREA. SHOULD BURNING BE UTILIZED FOR CLEARING AND GRUBBING OPERATIONS OFF-SITE, THE BURN OPERATION SHALL BE PERMITTED WITH THE LOCAL FIRE DISTRICT AND THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT PRIOR TO IMPLEMENTATION. BURNING OPERATIONS SHALL TAKE PLACE UNDER THE CONSTANT CARE OF THE CONTRACTOR AND SHALL BE EXTINGUISHED DURING OFF-WORK HOURS.

NO.	DATE	REVISION

DATE	BY	REVISION
24-04-2024	JSR	ISSUED FOR PERMIT
03/2024	PJW	REVISED

2024 ALLEY SANTIARY SEWER REPLACEMENT
TOWN OF COLLEBRAN
COLLEBRAN, CO
GENERAL NOTES



NO.	DATE	REVISION

TOWN OF COLLBRAN
 COLLBRAN, CO
2024 ALLEY SANTARY SEWER REPLACEMENT
 LEGEND & ABBREVIATIONS
 SHEET 4

EXISTING	ITEM	PROPOSED
	FIRE HYDRANT	
	GATE VALVE	
	CURB STOP	
	YARD HYDRANT	
	BEND	
	TEE	
	CROSS	
	REDUCER	
	COUPLER	
	VERTICAL BEND	
	WATER MANHOLE	
	SPRINKLER HEAD	
	WATER METER	
	CATHODIC TEST STATION	
	TRACER WIRE ACCESS BOX	
	SANITARY MANHOLE	
	SANITARY FORCEMAN MANHOLE	
	SANITARY MANHOLE W. VALVE	
	CLEANOUT	
	STORM SEWER MANHOLE	
	CURB INLET	
	CATCH BASIN	
	POWER POLE	
	GUY WIRE	
	LIGHT POLE	
	ELECTRICAL PEDESTAL	
	ELECTRICAL METER	
	ELECTRICAL JUNCTION (PULL BOX)	
	ELECTRICAL BOX	
	ELECTRICAL OUTLET/PLUG-IN	
	ELECTRICAL MANHOLE	
	TELEPHONE MANHOLE	
	TELEPHONE PEDESTAL	
	CABLE TV PEDESTAL	
	FIBER OPTIC PEDESTAL	
	GAS METER	
	GAS MANHOLE	
	FUEL DISPENSER	
	UTILITY MARKER	
	GAS VENT PIPE	
	TREES CONIFEROUS/DECIDUOUS	
	BUSH/SHRUB	
	SIGN	
	CONTROL POINT	
	BENCHMARK	
	PIPE CAP	
	MAIL BOX	
	PROPERTY PIN	

EXISTING	ITEM	PROPOSED
	ASPHALT EDGE	
	BUILDING CANOPY	
	CABLE TV - UNDERGROUND	
	CENTERLINE	
	CONSTRUCTION LIMITS	
	ELECTRICAL - OVERHEAD	
	ELECTRICAL - UNDERGROUND	
	FENCE - BARBED WIRE	
	FENCE - CHAINLINK	
	FENCE - PLASTIC, VINYL	
	FENCE - WOOD	
	FENCE - WOVEN WIRE	
	FIBER - UNDERGROUND	
	GAS - UNDERGROUND	
	GRAVEL EDGE	
	SANITARY SEWER FORCE MAIN	
	SANITARY SEWER SERVICE LINE	
	SANITARY SEWER (LESS THAN 24")	
<td>SANITARY SEWER (24" OR MORE)</td> <td></td>	SANITARY SEWER (24" OR MORE)	
	STORM SEWER EDGEDRAIN	
	STORM SEWER (LESS THAN 24")	
<td>STORM SEWER (24" OR MORE)</td> <td></td>	STORM SEWER (24" OR MORE)	
	TELEPHONE - OVERHEAD	
	TELEPHONE - UNDERGROUND	
	WATER SERVICE LINE	

EXISTING	ITEM	PROPOSED
	ASPHALT CEMENT	
	AGGREGATE	
	AIRHEAD	
	APPROXIMATE OR APPROXIMATELY	
	AIR RELEASE VALVE	
	ASPHALT	
	BITUMINOUS	
	BACK	
	BUILDING	
	BENCH MARK	
	BLDG	
	C&G	
	CI	
	CL	
	CMES	
	CMP	
	CP	
	CPP	
	CONC	
	CPLG	
	CS	
	CY	
	D	
	DB	
	DEFL	
	DG	
	EA	
	EL	
	ELEC	
	EMB	
	EQUATION	
	ESMT	
	EX	
	EXC	
	FF	
	FG	
	GR	
	HDPE	
	HP	
	HYD	
	INST	
	INV	
	JB	
	L	
	LF	
	LONG	
	LP	
	LS	
	LT	
	MAX	
	ME	
	MH	
	MIN	
	P & P	
	PC	
	PCC	
	PI	
	PIV	

POC POINT ON CURVE
 POT POINT ON TANGENT
 PP POINT OF REVERSE CURVATURE
 PRC PRESSURE REDUCING VALVE
 PRV POINT OF TANGENCY
 PT POINT OF TANGENCY
 R RADIUS
 RCES REINFORCED CONCRETE END SECTION
 RCP REINFORCED CONCRETE PIPE
 RDWY ROADWAY
 RR ROADWAY
 RT RIGHT-OF-WAY
 RW ROW
 SALV SALVAGE
 SAN SANITARY
 SE SUPERELEVATION
 SEC SECTION
 SF SQUARE FEET
 SHDR SHOULDER
 SSD STOPPING SIGHT DISTANCE
 SEC LINE SECTION LINE
 SPEC SPECIFICATION
 STA STATION
 STD STANDARD
 STRUCT STRUCTURE
 SURV SURVEY
 SW SIDEWALK
 SY SQUARE YARD
 T TANGENT
 TA TOP OF ASPHALT
 TBC TOP BACK OF CURB
 TC TOP OF CONCRETE
 TEL TELEPHONE
 TEMP TEMPORARY
 THEOR THEORETICAL
 TP TOP OF PAVEMENT
 TR TRAFFIC
 VC VERTICAL CURVE
 VCP VERTICAL CLAY PIPE
 VERT VERTICAL
 WM WATER MAIN
 WV WATER VALVE
 XSEC CROSS SECTION



NO.	DATE	REVISION

DESIGNED	PJW
REVIEWED	JSB
DATE	03/20/24
PROJECT	2404-00219-02
ISSUE	REMOVALS
DATE	03/20/24

2024 ALLEY SANITARY SEWER REPLACEMENT

TOWN OF COLBRAN
COLBRAN, CO
REMOVALS

SHEET
5



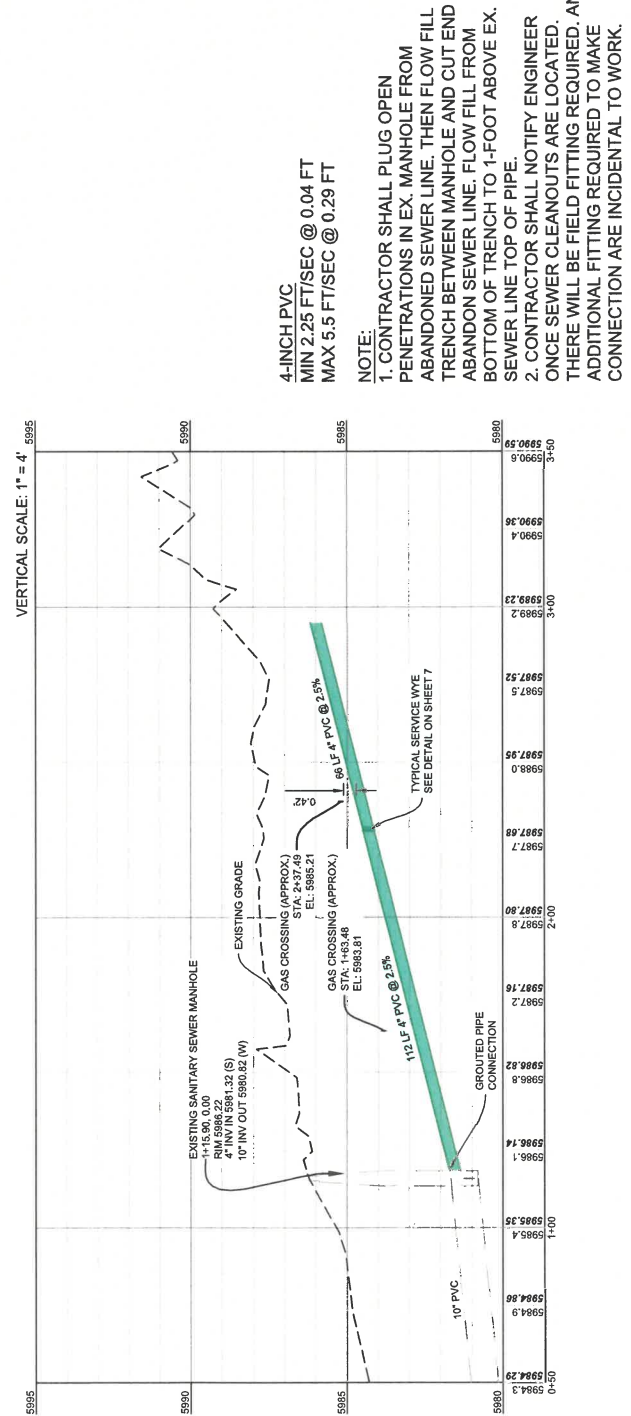
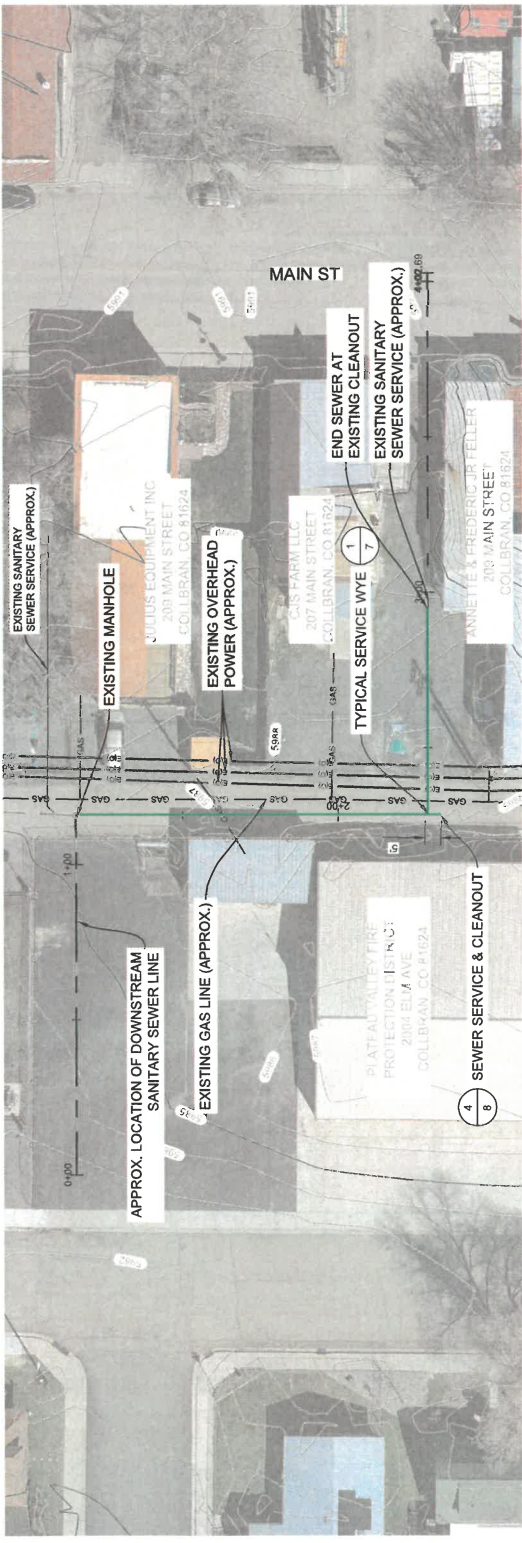
LEGEND

- REMOVE AND DISPOSE OF EX. ASPHALT (20 SY)
- REMOVAL AND DISPOSAL OF SANITARY SEWER LINE (71 LF)
- SAWCUT EXISTING ASPHALT (273 LF)
- EXISTING SANITARY SEWER LINE



NOTE:

1. CONTRACTOR SHALL PLUG OPEN PENETRATIONS IN EX. MANHOLE FROM ABANDONED SEWER LINE. THEN FLOW FILL TRENCH BETWEEN MANHOLE AND CUT END OF ABANDONED SEWER LINE. FLOW FILL FROM BOTTOM OF TRENCH TO 1-FOOT ABOVE EX. SEWER LINE TOP OF PIPE.
2. SURFACE CONTOUR DATA PROVIDED VIA PHOTOMETRIC DRONE FLIGHT (APRIL 7, 2022). CONTRACTOR SHALL USE THIS DATA TO UNDERSTAND GENERAL SITE GRADING AND USE TIE IN ELEVATIONS AND UTILITY PLAN GRADES TO INSTALL UTILITY LINES.



4-INCH PVC
 MIN 2.25 FT/SEC @ 0.04 FT
 MAX 5.5 FT/SEC @ 0.29 FT

- NOTE:
- CONTRACTOR SHALL PLUG OPEN PENETRATIONS IN EX. MANHOLE FROM ABANDONED SEWER LINE, THEN FLOW FILL TRENCH BETWEEN MANHOLE AND CUT END OF ABANDON SEWER LINE. FLOW FILL FROM BOTTOM OF TRENCH TO 1-FOOT ABOVE EX. SEWER LINE TOP OF PIPE.
 - CONTRACTOR SHALL NOTIFY ENGINEER ONCE SEWER CLEANOUTS ARE LOCATED. THERE WILL BE FIELD FITTING REQUIRED. ANY ADDITIONAL FITTING REQUIRED TO MAKE CONNECTION ARE INCIDENTAL TO WORK.



NO.	DATE	REVISION

DATE: 03/20/24
 DRAWN BY: JSS
 CHECKED BY: JSS
 PROJECT NO: 2404-00219-02

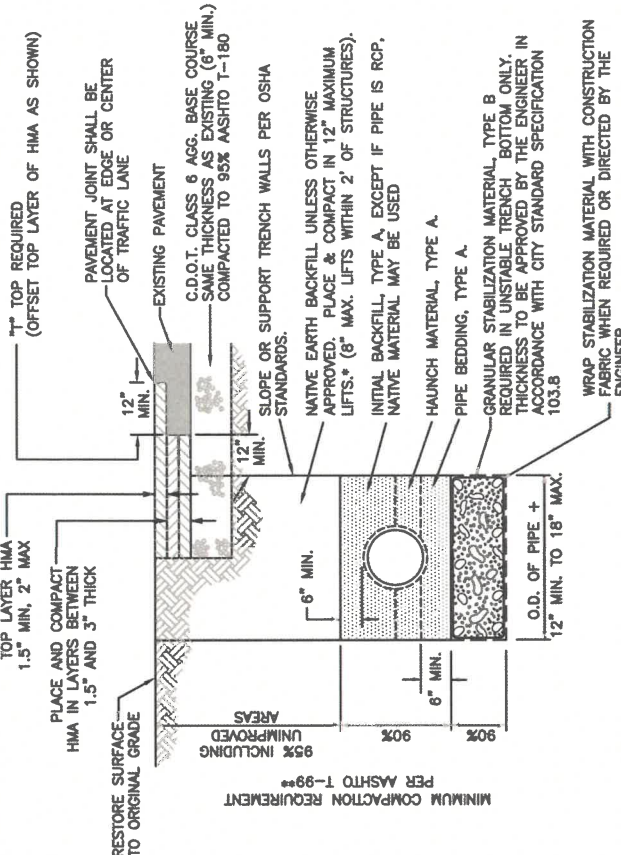
2024 ALLEY SANTARY SEWER REPLACEMENT
 TOWN OF COLLBRAN
 COLLBRAN, CO



NO.	DATE	REVISION

2024 ALLEY SANTARY SEWER REPLACEMENT
 TOWN OF COLBRAN
 COLBRAN, CO
 DETAILS I
 PROJECT NUMBER: 2404L-00219-02
 ISSUE DATE: 03/20/24

SHEET 7
 PAGE CU-03

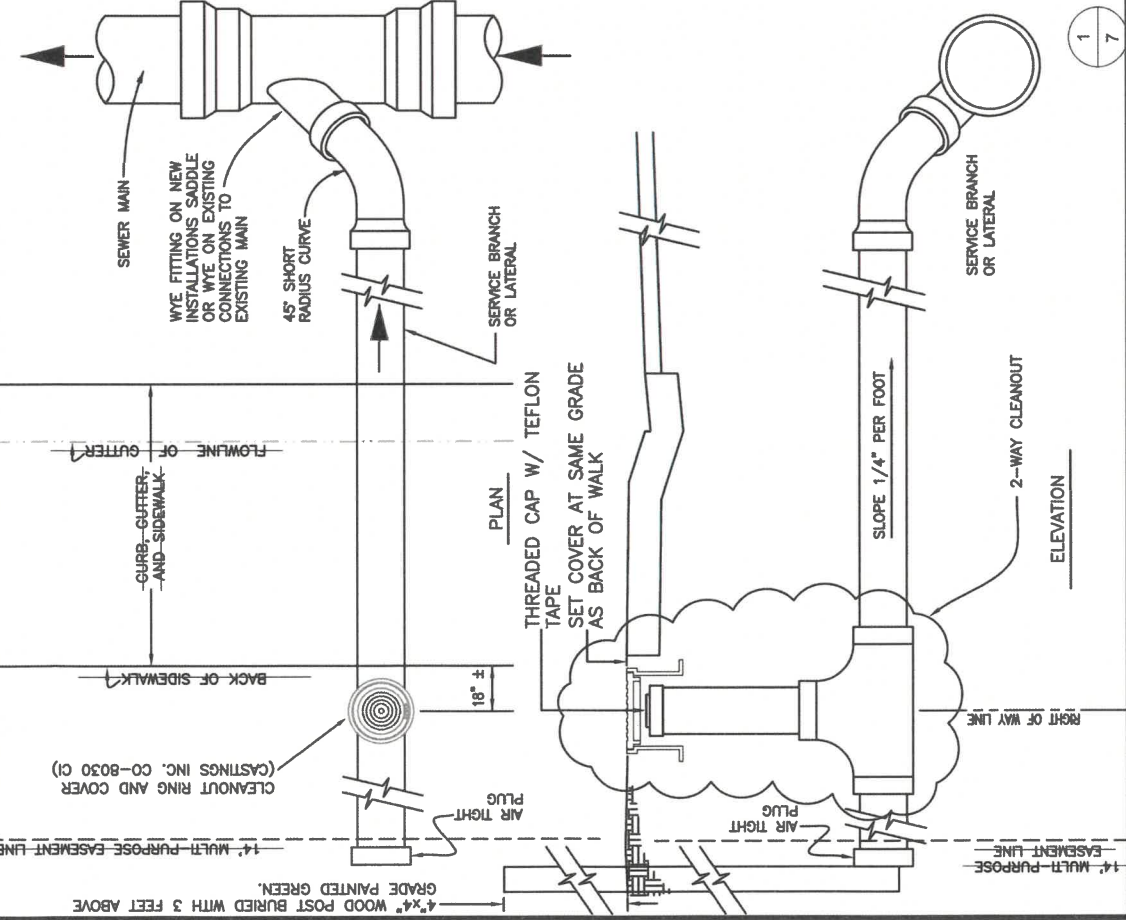


PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES	
SIEVE SIZE	PERCENT
12 INCH	100
2 INCH	100
1 INCH	100
NO 4	20 MAX
NO 200	20 MAX ***

- * 24" COMPACTED BACKFILL REQUIRED OVER ALL PLASTIC PIPE PRIOR TO VEHICLE OR HEAVY EQUIPMENT LOADING.
- ** COMPACT PER ASHTO T-180 WHEN SPECIFIED, DIRECTED OR APPROVED BY THE ENGINEER.
- *** PLASTIC INDEX (PI) SHALL NOT BE MORE THAN 7.

ALL BACKFILL MATERIAL SHALL BE UNIFORMLY ADJUSTED TO WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT PRIOR TO PLACEMENT AND COMPACTION.

TYPICAL TRENCH DETAIL



TYPICAL SERVICE "Y" CONNECTION

DEPARTMENT OF PUBLIC WORKS AND PLANNING
 ENGINEERING DIVISION
 CITY OF GRAND JUNCTION, COLORADO

APPROVED: *PS*
 REVISID: ~~JAN 2022~~
 DRAWN: ~~JAN 2022~~

DEPARTMENT OF PUBLIC WORKS AND PLANNING
 ENGINEERING DIVISION
 CITY OF GRAND JUNCTION, COLORADO

APPROVED: *DN*
 REVISID: ~~JAN 2022~~
 DRAWN: ~~JAN 2022~~

GENERAL UTILITY DETAIL

PAGE SS-06



ENGINEER'S ESTIMATE OF PROBABLE COST

Collbran, Colorado

KLJ Project #2404-00219-02

Sanitary Sewer Replacement

Base Bid Contract Item No.	Contract Item Long Description	Estimated Quantity	Unit	Unit Price	Total
1	Removal of Pipe	71	LF	\$100.00	\$7,100.00
2	Cut Asphalt Pavement	273	LF	\$12.00	\$3,276.00
3	Removal of Asphalt	20	SY	\$15.00	\$300.00
4	Unclassified Excavation	100	CY	\$40.00	\$4,000.00
5	4-inch Sewer Service Pipe SDR 35	211	LF	\$3.00	\$633.00
6	4-inch wye (service connections)	3	EA	\$12.00	\$36.00
7	4-inch 45-degree elbow	2	EA	\$14.00	\$28.00
8	4-inch x 4-inch Sewer Service Tap	1	EA	\$9.00	\$9.00
9	Connect to Existing Manhole (4" pipe)	1	EA	\$100.00	\$100.00
10	Hot Mix Asphalt (Patching)(3" thick)	8.48	TONS	\$270.00	\$2,289.60
				SUBTOTAL	\$17,771.60

20% CONTINGENCY \$ 3,554.32

ENGINEER'S ESTIMATE OF PROBABLE COST \$21,325.92